



**TOWN OF WELLINGTON
PLANNING COMMISSION**

**May 3, 2021
6:30 PM**

Regular Meeting

Please click the link below to join the webinar:

<https://zoom.us/j/95634581508?pwd=TnZJN2ZDenJhRnE2ZXRvdWFZNkYQT09>

Passcode: 058246

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Or One tap mobile :

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US: +1 253 215 8782 or +1 346 248 7799 or +1 669 900 9128 or +1 301 715
8592 or +1 312 626 6799 or +1 646 558 8656

-
1. CALL TO ORDER
 2. ROLL CALL
 3. ADDITIONS TO OR DELETIONS FROM THE AGENDA
 4. PUBLIC FORUM
 5. PRESENTATIONS
 - A. Presentation - Landscape and Irrigation Standards Update
 6. CONSIDERATION OF MINUTES
 - A. Meeting Minutes of April 5, 2021
 7. NEW BUSINESS
 - A. Site Plan Review - 3700 Cleveland Ave.
 - B. Site Plan Review - Lot 1, Block 6, Wellington (3749 Harrison Ave.)
 8. ANNOUNCEMENTS
 - A. Director Report on Administrative Approvals
 9. ADJOURNMENT



Planning Commission Meeting

Date: May 3, 2021
Submitted By: Elizabeth Young Winne, Planner
Subject: Presentation - Landscape and Irrigation Standards Update

EXECUTIVE SUMMARY

Presentation by Logan Simpson representatives working on the Landscape and Irrigation standards.

BACKGROUND / DISCUSSION

STAFF RECOMMENDATION

ATTACHMENTS

1. Presentation



Wellington Landscape and Irrigation Standards

3 May, 2021 - Planning Commission Meeting

Project Overview and Purpose

- ❑ Reduce water use in landscapes - residential, commercial, streetscapes, parks, and open space
- ❑ Review successful implantation in other communities
- ❑ Develop landscape prototypes

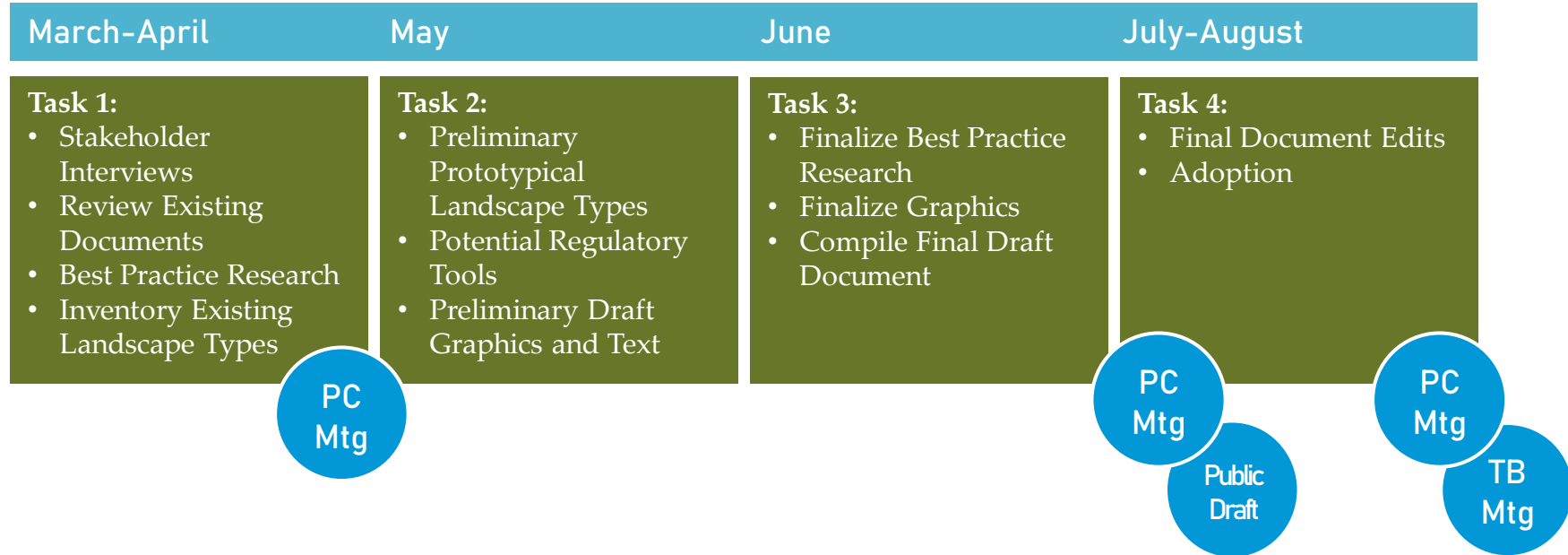


Role of the Planning Commission

- Provide direction as a stakeholder
- Weigh in on desired outcomes
- Be a sounding board for recommendations
- Final recommendation



Schedule Overview



Quick Poll Questions

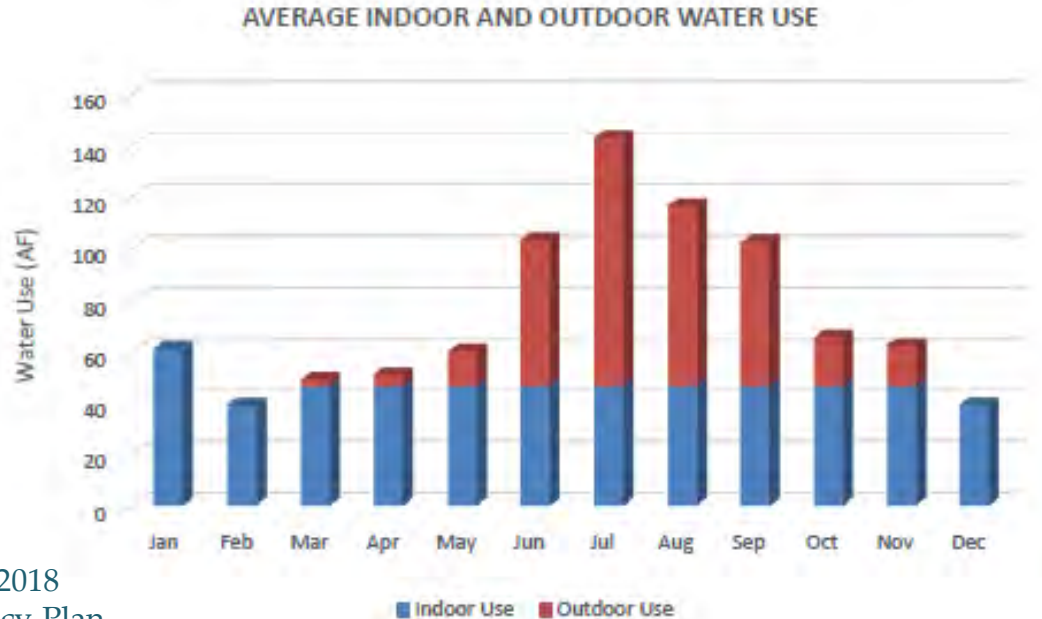
- ❑ Which of these landscapes represent xeriscape or a low water landscape?
- ❑ Which of these landscapes would you prefer to see in Wellington?



[www.menti.com](https://www.menti.com/11105630)
1110 5630

Existing Conditions

- Outdoor is highest water use (specifically Residential)



*Data from Wellington's 2018
Municipal Water Efficiency Plan

High Water vs Low Water (Xeric) Landscape



Case Study 1

Erie, CO

Landscapes in and around the town of Erie are designed with water efficiency as a major goal. As Erie is also a small town, it is the most similar in size to Wellington.

Water Efficient Design Standards:

- ☐ Limitation of bluegrass
- ☐ Use of hydrozones
- ☐ Improvement of soil with organic material
- ☐ Efficient irrigation/scheduled irrigation times
- ☐ Garden in a box program



Case Study 2

Aurora, CO

Collaboration is integrated into Aurora's organizational structure, especially when it comes to water. Whenever code changes are proposed, the City's departments work together to ensure that water conservation is part of the conversation.

Water Efficient Design Standards:

- ❑ Lawn and irrigation permits required.
- ❑ Improvement of soil with organic material.
- ❑ Water zone requirement with waterwise and no-water plant lists.
- ❑ List of optional water saving native seed and sod varieties for curbside landscapes.



Case Study 3

Centerra, Loveland, CO

Award winning Centerra provides unique and fun landscape design that integrates irrigated turf with native and xeric plants. It is intended to be developed in a manner which is responsive to many environmental considerations, one of the most important being water conservation.

Water Efficient Design Standards:

- ☐ Approved plant list
- ☐ Irrigation design requirements
- ☐ Irrigation maintenance requirements
- ☐ Seeding, soil, and mulch preparation requirements



Discussion

- What would make it easier for you to review plans (i.e., checklists, graphics, clear standards)?
- What do you feel is missing from existing landscape and irrigation standards that would help streamline processes (i.e., plant lists, prototype examples, regulations)?
- Are there effective innovative techniques being used in other communities that we should consider?

Next Steps

- Stakeholder Interviews
- Continue Best Practice Research
- Begin to Develop Landscape Prototypes
- Develop Draft Recommendations



Thank you!



**TOWN OF WELLINGTON
PLANNING COMMISSION
April 5, 2021**

MINUTES

1. CALL TO ORDER

The Planning Commission for the Town of Wellington, Colorado, met on April 5, 2021, in an online web conference at 6:30 p.m.

2. ROLL CALL

Commissioners Present: Bert McCaffrey, Chairperson
Tim Whitehouse
Rebekka Kinney
Eric Sartor
Linda Knaack
Troy Hamman

Absent: Berry Friedrichs

Town Staff Present: Cody Bird, Planning Director
Liz Young Winne, Planner II
Patty Lundy, Development Coordinator

3. ADDITIONS TO OR DELETIONS FROM THE AGENDA

None

4. PUBLIC FORUM

None

5. CONSIDERATION OF MINUTES

A. Meeting Minutes of March 1, 2021.

Moved by Commissioner Whitehouse, seconded by Commissioner Knaack to approve the minutes as presented. Motion passed 6-0.

6. NEW BUSINESS

A. Minor Subdivision – Lot 4, Coal Creek Center

Liz Young-Winne, Planner II presented the staff report. She explained that there are number of minor changes needed on the plat and are detailed in the staff report. She also identified the requirement for the developer to submit a traffic impact study at the time the site is proposed to be developed. The applicant will also need to confirm that a joint access agreement with the adjacent property owner is in place. Staff's recommendation is to approve the minor subdivision subject to staff's comments.

Nathan Abbott, Galloway, representing the applicant, said it was a great overview and that they will work with staff to address the staff report comments and make the changes.

Kim Sims, Alvarado Development, LLC, said she would work on the joint access agreement with the adjacent property owners.

Chairman McCaffrey asked why the minor subdivision was proposed now without identifying a business that would occupy the space. Young-Winne said that one of the main reasons to do a minor subdivision now is it would take a little bit of the weight off the current owners to do some of the work on the front end instead of the back end. Cody Bird, Planning Director said it is an advantage from a marketing standpoint to make this an attractive property for a buyer to know that it is ready for development except for the site plan for the specific development.

Commissioner Hamman asked about the purpose of the conceptual drawing in the packet. Bird said it is a pretty small lot so we asked the applicant to show that the site could actually be a viable functioning site when developed.

Commissioner Sartor mentioned that the access having to do with Kum & Go seems to go back quite a while and was wondering if there could be an overview on that. Bird said many years ago when Kum & Go was approved it was noted that the driveway was a little bit closer to the intersection with Cleveland Avenue than is typically preferred. There is an agreement with Kum & Go that once a certain traffic threshold is met, they may be required to actually change the design or location of that driveway.

Chairman McCaffrey opened the floor for public comments.

Chairman McCaffrey seeing no public comments, closed the public comment section of the meeting.

Commissioner Whitehouse moved to approve the Minor Subdivision – Lot 4, Coal Creek Center pending review and approval through the Planning Department. Commissioner Hamman seconded. Motion passed 6-0.

B. Minor Subdivision – Lot 2, Block 1, Boxelder Commons

Liz Young-Winne, Planner II presented the staff report and highlighted that the minor subdivision procedure was proposed for this site because of the simple nature of the request. A couple of minor changes are needed on the plat for labeling and joint access easements. The applicant also needs to submit a closure report. Staff is recommending approval of the minor subdivision request.

Commissioner Whitehouse asked for clarification about the eligibility for a minor subdivision. Young-Winne said that there are only two options for subdivisions in the land use code. There is a major subdivision and a minor subdivision. The applicant falls in the gray zone where it is not quite eligible for either and so it was decided it would be a good candidate for a minor subdivision. Bird reminded the Commission that the Town's land use codes are in need of an update and that update is underway following the Comprehensive Plan. The major subdivision request has a two-part process – preliminary plat and final plat. The preliminary and the final both go to the Planning Commission and the Board of Trustees. The preliminary and final step is intended to provide an opportunity to contemplate large subdivisions with multiple lots with multiple access points to identify there is adequate street connectivity, drainage is satisfied, and utilities are laid out appropriately. Once that is moved through the process, then the final

step is where all the cleanup takes place for lot sizes and more details making sure all the details are satisfied for the final legal document, the final subdivision plat. The minor subdivision option is intended to simplify the process where the request is straight forward. In this circumstance, it is one large lot that is proposed to be divided into two lots. Dollar General would like to own the lot they are on, and that is why the request was submitted

Commission Hamman asked what businesses are on each of the lots proposed. Bird said that Dollar General will be located on 1.76 acres on the north end and the remaining 5.5 acres currently has Ziggi's Coffee on it and would accommodate further commercial development.

Chairman McCaffrey opened the floor for public comments.

Chairman McCaffrey seeing no public comments, closed the public comment section of the meeting.

Commissioner Sartor moved to approve the Minor Subdivision – Lot 2, Block 1, Boxelder Commons subject to the staff report and including attaining the access agreement with the adjacent property owners. Commissioner Whitehouse seconded. Motion passed 6-0.

C. Site Plan approval – Drive Thru ATM at Lot 1, Block 1, Boxelder Commons

Liz Young-Winne, Planner II presented the staff report. The request is to allow a stand alone ATM in the parking lot of Ridley's Market. Staff supports approval of the ATM location and plans. There is a concern that the access onto Jefferson Avenue is open but was originally intended to be limited. 2006 Site and Horizontal Control Plan notes a gate should be in place to limit access. The gate is noted on the current plans to be replaced by the owner.

Philip Cangilla, Blue Federal Credit Union, commented on a couple of the comments from the staff report, including that they would submit a separate sign permit when the time came. He explained that the sign is proposed to be illuminated as is the canopy.

Lee Martin, Palma Land Planning, identified that the question about the gate access was a remaining matter to address. Blue Federal Credit Union does not own the property, but they are the tenants proposing the new ATM use. Customers to the ATM would be accessing the property from Fifth Street. If a customer entered from the Jefferson Ave. driveway, that would be a much more difficult way of getting around to the right side of the ATM. Because of this, they think most customers would be using the other access point from Fifth Street. They are requesting that the gate question not be a condition of approval because they feel the gate and the ATM are effectively unrelated matters.

Chairman McCaffrey and Commissioner Whitehouse agreed that there is a distinction and would like to consider the gate question separate from the site plan if this is possible and asked what steps should be taken next.

Mark Ridley owner of Ridley's Family Market said that when he purchased the business he had never seen or heard about the gate required to be closed. He is willing to work with the Town and do a traffic impact study to see what can be done about that area and a gate being needed. He said he is also willing to do a right-in/right-out driveway only or see what other options to consider if there is an access issue. He is requesting to let Blue Federal Credit Union go forward with their ATM plans and keep the gate issue separate.

Bird said that staff is in agreement with Mr. Ridley's thinking. If they would like to pursue a traffic impact study to evaluate the appropriate design for modifying that driveway entrance, staff would be happy to take a look at options. He said staff was comfortable with separating the gate request from the site plan if we know that we can accomplish the traffic impact study to resolve the access questions at the Jefferson Ave. entrance.

Mark Ridley said that sounded great and makes the most sense to him.

Chairman McCaffrey asked if there were any public comments. There were no public comments.

Commissioner Kinney moved to approve the site plan for a Drive Thru ATM on Lot 1, Block 1, Boxelder Commons, Filing One, subject to the staff report comments but excluding the gate installation. Commissioner Whitehouse seconded. Motion passed 6-0.

D. Draft Comprehensive Plan Discussion

Bird shared an update on the comprehensive plan, a process that was started a little over a year ago. Staff and the steering committee have worked to prepare the draft that has been out for public comments since March. There have been quite a few written public comments. There was also an in-person Town Hall meeting to hear comments at the Board of Trustees request. We wanted to get the draft plan and those public comments in front of the Planning Commission for consideration. The Planning commission is the ultimate approval authority for the comprehensive plan and any amendments to the comprehensive plan.

In the agenda packet is included the draft plan and behind each page is a report of the public comments that were received. Staff would like the Planning Commission to give staff some feedback and direction on what comments you are seeing and hearing and let us know what we can do to help make sure that the revisions are addressing the Town's concerns.

Chairman McCaffrey would like to see the Planning Commission be in person at least once before the entire comp plan is brought before the Planning Commission. If the plan needs to be pushed back to allow the in-person format, he felt that would be appropriate. He also asked about the rural residential zoning and making sure the public comments that were provided in the plan were incorporated.

Commissioner Kinney agreed it should be at an in-person meeting but would not like to push it back if it can be helped.

Commissioner Sartor asked if someone could explain the differences between the 2014 plan and the new draft plan. Chairman McCaffrey said that the 2014 plan was more of an update, or even just a copy and paste of the 2008 plan. Not much had changed. Bird added that the 2014 plan was oriented towards meeting the minimum statutorily required components. The current draft plan is focused more on addressing the changes that the community has seen over the last decade. Commissioner Sartor said he likes some of the goals and the outline from the 2014 plan and thinks that the length of the new plan could be a challenge.

Commissioner Hamman asked if the R-1 Rural Residential district designation would be within the new plan. He also suggested that it be a density range in the low residential of two to six dwelling units per acre. The downtown commercial area between McKinley Ave. and Harrison Ave. is currently zoned TR Transitional and those properties should be classified or identified differently for a clearer understanding of what is allowed. He asked how much of the

demographic information needed to be included and how important it is to reference one ethnicity group or another. The last item he mentioned from the public comments is how to consider zoning for future marijuana dispensaries. He does not think that needs to be an important consideration at this time.

Commissioner Kinney responded that the demographics are required and expected in comprehensive plans. She also suggested that when residents are responding to the draft plan, to please post the comments in the correct sections even though they are talked about in different areas of the comprehensive plan. Some of the comments that were posted may need to be addressed in other section for them to make sense. As far as the marijuana item, she feels that the state and county might be going that way but the Town board has not heard the voter's perspective yet. She also added that this comprehensive plan should be used as a reference for many Town decisions in the future and that is why it is long. It addresses many items for the future.

Jon Gaiter, Trustee in attendance at the Planning Commission meeting, asked Chairman McCaffrey if public comments would be allowed. Chairman McCaffrey agreed to allow comments.

Jon Gaiter shared that he had a couple of concerns specific to the racial and demographics portion in the draft plan. I don't understand what is statutorily required in this portion. As I understand it, what is statutorily required is the portion that speaks directly to the percentages and the numbers and I think that's fully appropriate. The concern that I have, and I say this as a minority, is when we start to branch beyond that and we start to go into things where we say in the public infrastructure portion where we start to say that we, as a government are going to require certain minorities to be represented on town boards, that's where it gets into problems because we start to infer that those minority groups are not capable of doing that on their own, and I don't see that we, as a town have situations where there are town policies or things that are keeping minorities from serving on our boards or commissions and I think what is more appropriate is we can find better ways to communicate, but to me that's a different document that's not something in our strategic plan that we should be putting in there. Say what our population is and not get into creating here's how we're going to address things that may or may not be issues.

7. ANNOUNCEMENTS

A. Director Report on Administrative Approvals

Bird explained that the new vet clinic office on Wellington Boulevard had a fence that was administratively approved. The height was approved to increase to a maximum 6-foot high instead of 42 inches that was shown on the approved site plan. The vet clinic would not be able to be accredited without having the 6-foot high fence around the controlled pet exercise area. The proposal made sense for the location and wouldn't impede any sight triangles.

Staff had considered the Blue Federal Credit Union ATM as possibly being an administrative approval, but with the questions about the gate, access and proximity to the highway being very visible, it was decided that it should be a Planning Commission review.

8. ADJOURNMENT

Chairman McCaffrey adjourned the meeting at 8:21 pm.

Approved this _____ day of _____, 2021

Recording Secretary



Planning Commission Meeting

Date: May 3, 2021
Submitted By: Cody Bird, Planning Director
Subject: Site Plan Review - 3700 Cleveland Ave.

EXECUTIVE SUMMARY

General Location:

- 3700 Cleveland Ave., Wellington, CO

Applicant/Agent:

- Applicant: Rob Wynne

Reason for request:

- Approve site plan for restaurant with mobile food vendors, outdoor seating and activity space

Background Information:

- The applicant is seeking approval for a site plan to allow reuse of an existing downtown building for restaurant and drink service uses, including mobile food vendors and indoor/outdoor dining areas with accessory outdoor activity spaces. A narrative description of the proposed uses is attached.
- The property is zoned C-2 Downtown Commercial. The C-2 district is identified in the zoning code as "intended to preserve the character of the original downtown and to provide for a mixture of uses that will strengthen and expand the core community."
- The property was formerly a convenience store associated with gasoline sales. The gasoline storage tanks and pumps have since been removed. The convenience store has been vacant for a number of years.
- The applicant desires to make use of the existing structure with minimal changes. The interior is proposed to be remodeled to accommodate the food and beverage service as well as to accommodate an ADA accessible restroom.
- Building and Fire Dept. permits will be required if the site plans are approved. Additional site details may need to be adjusted to reflect any changes required by the Planning Commission or due to the nature of the outdoor use areas. Staff recommends and requests that minor changes be allowed to be made administratively.

BACKGROUND / DISCUSSION

1. Building Setbacks and dimensional standards: The property is within the C-2 Downtown Commercial district. Building setbacks for front and side yards are allowed to be zero feet (at the property line). The existing structure meets the required building setbacks and is not proposed to change. Any proposed stage or other structures for the proposed "band area" for live entertainment must be on the property to comply with the zero setback. Any mobile food vendors must also be on the property to prevent obstructing a public right-of-way, including any food service windows and any lines that could form and obstruct the sidewalks.

2. Easements: Proposed buildings and structures do not encroach into any platted easements.

3. Streets and Access: The site is on the corner of Cleveland Ave. and First St. There are existing driveways to both Cleveland Ave. and First St. The applicant, at Town staff's request, is proposing to restrict access to/from Cleveland Ave. The proximity of the driveway to the intersection is not desirable and not needed for the proposed use of the site. Planter boxes are proposed as a means of created a physical and visual barrier to vehicle access at the Cleveland Ave. driveway. The First Street driveway is allowed to remain for use by the mobile food vendors. It is anticipated that the vendors would park in the driveway to limit vehicle access during times the

outdoor areas are in use. Parking access is proposed from the alley, which is generally acceptable.

4. Pedestrian Connection: There are existing sidewalks along Cleveland Ave. and First Street connecting the site to other public sidewalks. The site plan appears to show a portion of the outdoor dining or patio area on the existing sidewalk along Cleveland Ave. Additional details on the site plan may need to be coordinated with Town staff to better understand if sidewalk seating is desired or proposed. The proposed planter boxes are identified as being located within the Cleveland Ave. sidewalk area. This proposal may be acceptable, or the planters could also be utilized as an element creating the perimeter required for the proposed liquor license area. Staff recommends that final details of the sidewalk use and planter locations be handled administratively with Town staff to ensure all pedestrian and accessibility needs are satisfied. Egress paths through the liquor license area will also need to be evaluated with the Fire District.

5. Parking: The applicant is proposing to provide up to 4 off-street parking spaces on the site accessed from the alley. Within the C2 district, the off-street parking requirement is to provide the rear 25 feet of the property for parking spaces. This requirement is generally satisfied for the proposed site plan, exclusive of areas encumbered by structures and the proposed trash enclosure. Dimensions for the parking spaces are not identified, so the applicant should verify if the minimum 10 ft. x 20 ft. dimensions are satisfied. Wheel stops are proposed and should be a requirement to create some physical separate from the outdoor activity areas. If possible, the parking spaces could be shifted to the east to provide a little separation between the sidewalk along First Street and opening car doors.

6. Circulation Aisles: There are no vehicle circulation aisles proposed on the site.

7. ADA: ADA Standards for Accessible Design require accessible parking spaces based upon the total number of parking spaces provided on site. When 1-25 parking spaces are provided, a minimum of 1 accessible parking space is required and the one space must be van accessible. The one accessible space provided is a van accessible space, meeting the minimum requirement.

- The ADA van accessible space must be a minimum of 132 inches (11 feet) wide with a minimum adjacent 60-inch (5 feet) wide access aisle. The applicant should verify the minimum widths for ADA are satisfied. The van accessible parking space is required to have a sign with "van accessible" placard posted in front of the space. The bottom of the placard must be a minimum of 60 inches above adjacent grade.
- The ADA accessible aisle should be arranged to be on the passenger side of the van parking space.
- Spot elevations for grading are not currently available. The applicant or their agent should evaluate existing grades to ensure all ADA slope requirements are satisfied. At a minimum, there appears to be a need to identify some changes at the building entrance to accommodate a ramp and possibly the door threshold to meet the ADA accessibility requirements. This can be further coordinated with Town staff at the time of a building permit for the building modifications.
- The applicant or their designated agent shall ensure that all accessible parking spaces and routes meet the requirements of ADA standards including locations, widths, aisles, slopes, signage, and pavement markings. Sufficient details should be included and coordinated in the civil engineering and architectural plans.

8. Signage:

- There are no new signs currently identified on the site plans. The applicant is encouraged to consider what type of signage may be desired. A separate sign permit can be obtained from Town staff.
- The existing sign frame from the former convenience store is a nonconforming structure due to its size and location which obstructs visibility at the intersection. The zoning code provides that a nonconforming sign shall be removed upon a change in use of the property. The change of use from a convenience store to a restaurant necessitates removal of the abandoned sign frame.

9. Site Lighting: The applicant should be prepared to discuss how adequate lighting will be provided on the site.

10. Landscape/Screening and Buffering: The existing site is completely hardscaped with concrete or asphalt. As an alternative to help provide some greenery on the site, the applicant is proposing planter boxes. The planter boxes will help provide some visual aesthetic to soften the site. Consideration of placement of the planter boxes will also help to achieve some screening of the outdoor patio area without completely obscuring views into and out of the site. Size of the boxes, design and water supply should all be considered when designing and installing the boxes.

11. Drainage: Existing stormwater drainage from the site is accommodated in the flowlines of the adjacent streets. No changes to the drainage is proposed for redevelopment of this site.

12. Utilities:

- **Town Utilities:** There is existing public water and sanitary sewer infrastructure in place to serve the site.
 - According to Town records, the existing water meter is located within the building. The applicant is advised to coordinate with Town Public Works Department staff to evaluate any needed upgrades or changes to the water meter.
 - It is the understanding that mobile food vendors are largely self-contained for cooking needs. Because there is not a grease interceptor on the site, food waste should be collected and disposed of in the trash or other means of disposal. The applicant is advised that any cooking/cleaning and food disposal should be handled in accordance with health department regulations. Any changes to utility service needs, including any changes to discharges to the Town's sanitary sewer system must be done in coordination and with direction from Town Public Works staff.
- **Other Utilities:** The applicant is responsible for coordinating with private companies to ensure that any needed utility changes are installed underground.
- **Fire District Review:** Wellington Fire District staff reviewed the proposed site plans. Review comments indicated that the Fire District is OK with the proposed use of the building. Additional review for the building modifications, egress paths and outdoor areas will be required. Building plan review and a permit issued by Wellington Fire Protection District is required prior to construction. All mobile food vendors are also subject to meeting business registration requirements and passing inspections.

13. Architectural Design Standards: There are minimal changes proposed to the existing building. The applicant should identify if any exterior changes are proposed or if any colors are proposed to be changed. Any changes are required to be complimentary to other existing structures along Cleveland Ave.

- Any changes to mechanical equipment that is located outside or on the rooftop is required to be screened from public view.
- A trash enclosure is proposed on the north side of the site with access from the alley. The enclosure is shown as masonry block to match the existing building. The color of the block should also match or be complimentary to the existing building. The gate material and color should also be considered.

14. Outdoor Use Areas: The proposed site plan includes multiple use areas that are outside of the building. Outdoor uses require approval by the Planning Commission.

- The proposed outdoor use areas include outdoor seating, a fire pit and a "band area" presumably for outdoor entertainment. The applicant should be prepared to explain and discuss other outdoor uses or activities.
- Factors that could be considered for the outdoor uses include:
 - Hours of operation
 - Noise and/or live music and entertainment
 - Safety/security lighting
 - Additional trash receptacles
 - Wind and proper anchoring of any movable furniture, etc.
 - How to handle blowing trash, menus, etc.
 - Shade/rain structures and proper design/permitting requirements
 - Snow removal during winter months
 - Others identified by the Planning Commission and staff

15. Miscellaneous Requirements:

- The applicant is advised that a Town business license and sales tax license is required for the primary user of the site, as well as all mobile food vendors or other business entities conducting business within the Town. Business and sales tax licenses are an administrative procedure.
- A liquor license is required for serving any liquor or cereal malt beverages. The applicant and/or any business selling liquor is required to obtain approval from the Town Liquor Board to establish the licensed premise on this site. The Liquor Board meets the 2nd and 4th Tuesdays of the month, as needed, to review liquor license requests. Contact the Town Clerk for necessary application materials and to ask any questions.
- The liquor license perimeter requirements, including any fencing or barriers and any gates/openings to the premise shall be coordinated with the Building Department and Fire District for egress and accessibility needs.

16. Corrected Plans: If the Planning Commission approves the site plan, the applicant will need to revise the site plan documents to incorporate any corrections or comments and submit revised copies to the Town. Changes on the site plan sheets shall be clouded, and a list of all changes shall be provided, noting which comment each is addressing.

STAFF RECOMMENDATION

It is advised that the nature of the outdoor use areas and the remaining considerations for the building permits, liquor license, mobile food vendor needs and other factors may still require coordination for necessary Town approvals. If the Planning Commission approves of the overall site plan and the general outline and purpose of the outdoor uses and activity areas, Town staff recommends that additional coordination for remaining items be handled administratively by staff. Any changes or needs that are not of a minor nature or that modify the approval intent of the Planning Commission could be brought back before the Commission for further review. Based on the foregoing, the below statement is staff's recommended motion:

Move to approve the site plan for 3700 Cleveland Ave., including outdoor use and activity areas, subject to staff comments and allow Town staff to coordinate additional site details of a minor nature and within the intent of the Planning Commission's approval administratively.

ATTACHMENTS

1. Location Map
2. Project Narrative
3. Site Plan and Building Layout

Location Map

3700 Cleveland Ave., Wellington, CO



Planned use of 3700 Cleveland Ave Wellington Colorado

Primary use will be retail food service 1-2 days a week. The majority of the service will be on Saturdays.

We will utilize a BBQ Trailer/Smoker that will be parked on the property along 1st Street. Food prep and serving will take place inside the building. Most of the food consumption will be in an outdoor seating setting. There will be 2 tables inside for dining when weather requires.

We plan to have beer sales thru an outside source with proper and existing liquor licenses. This serving will also take place inside building. We will have a designated area to define liquor perimeter.

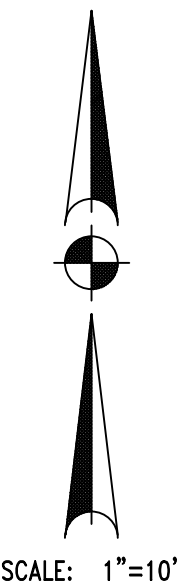
We will provide one Handicap and 3 regular alley access parking spaces on property. We will install planters to block the current access point from Cleveland Avenue. The BBQ Trailer will block access from 1st street.

We plan to allow food truck service on the property on the days we will not be open, with use of our patio, and drink sales.

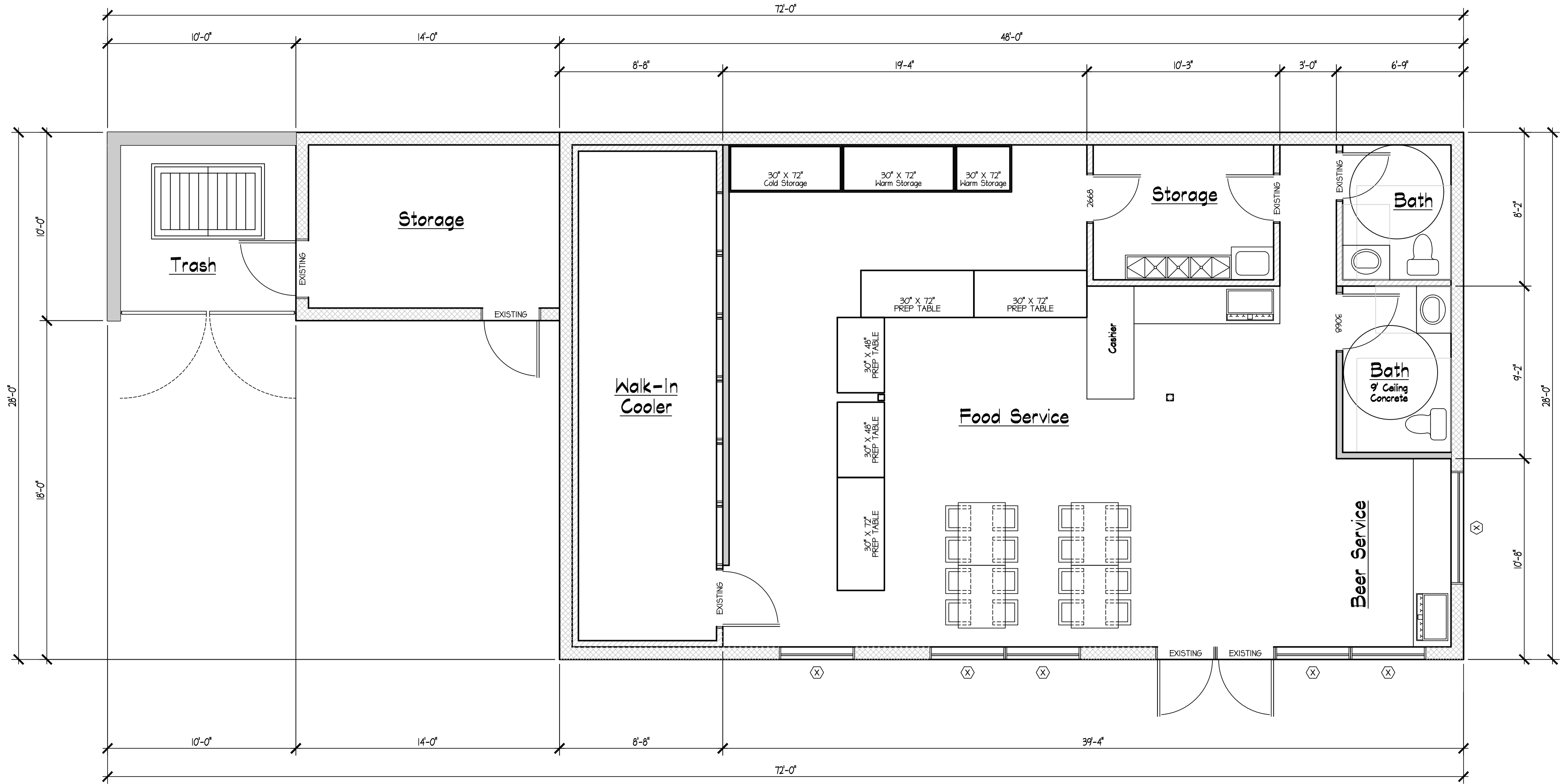


OWNER
THE BBQ LOVE SHACK
ROB WYNNE
P.O. BOX 992
WELLINGTON, COLORADO 80549
970-222-5035

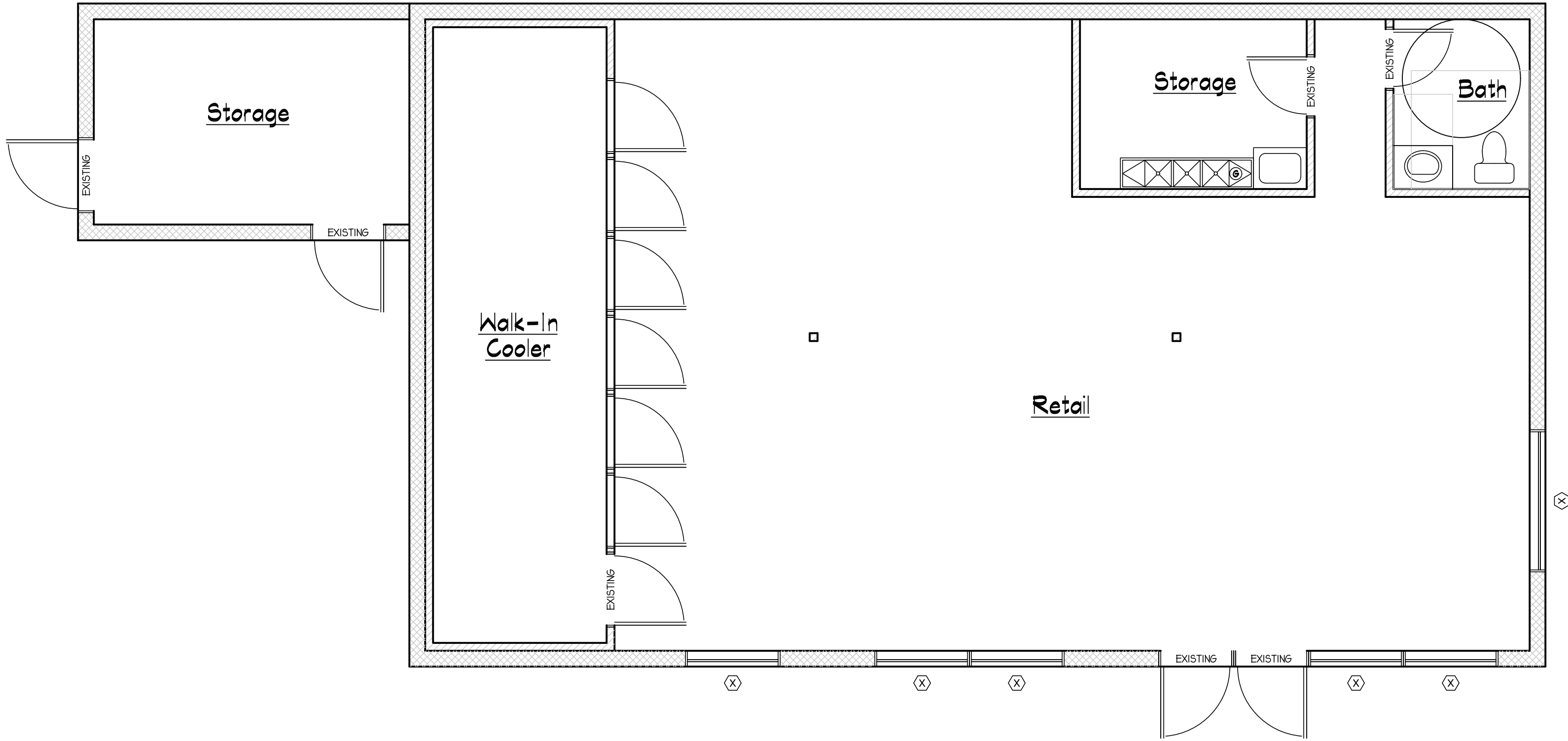
SITE PLAN



DESIGNER: PRECISION DRAFTING LLC 3376 MAMMOTH COURT, WELLINGTON, COLORADO, 80549 PHONE: (970) 391-1719 EMAIL: predes@hotmail.com	BUILDER: THE BBQ LOVE SHACK	PROJECT TITLE: 3700 CLEVELAND AVENUE WELLINGTON, COLORADO
REVISIONS:		
SCALE: 1" = 10'		
Drawn <u>WMK</u>		
DATE: APRIL, 2021		
FILE NAME: 3700CLEVELAND		
PROJECT NUMBER: 1323-01-21		
SHEET NO. 1.0		



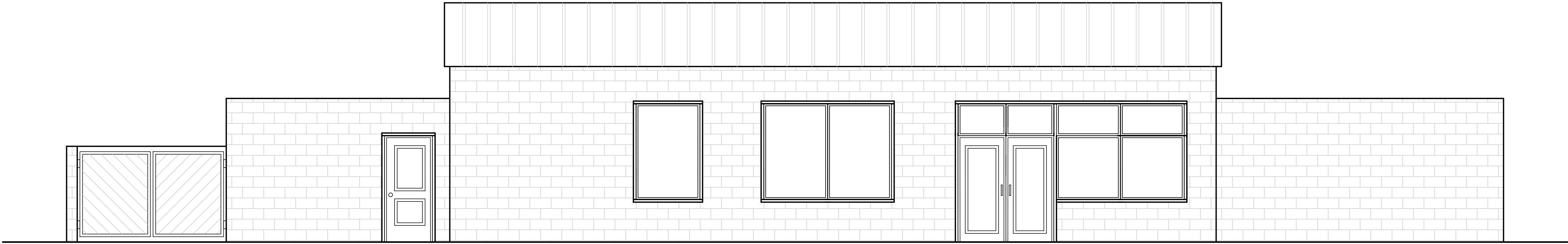
EXISTING MAIN FLOOR PLAN



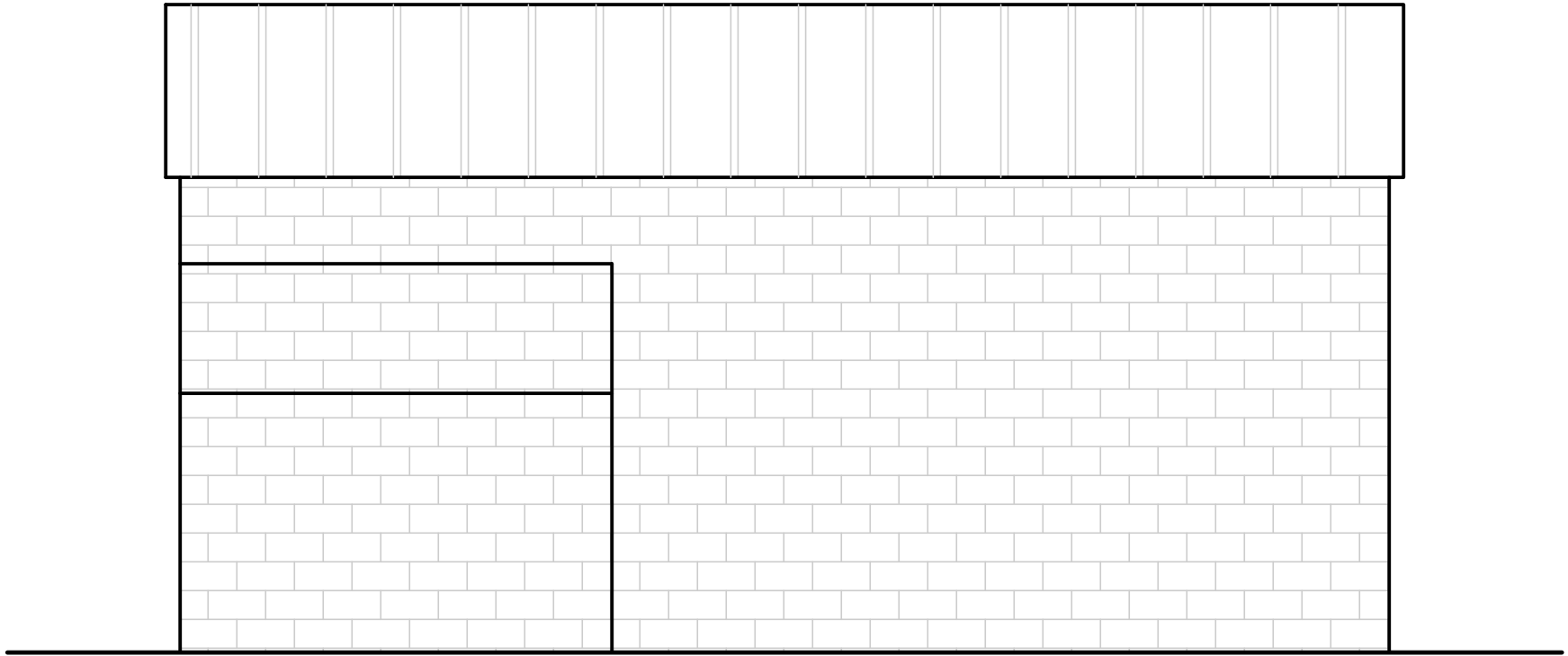
EXISTING MAIN FLOOR PLAN

Wall Schedule	
Symbol	Type
	Existing Interior Wall
	Existing Exterior Wall
	New Wall

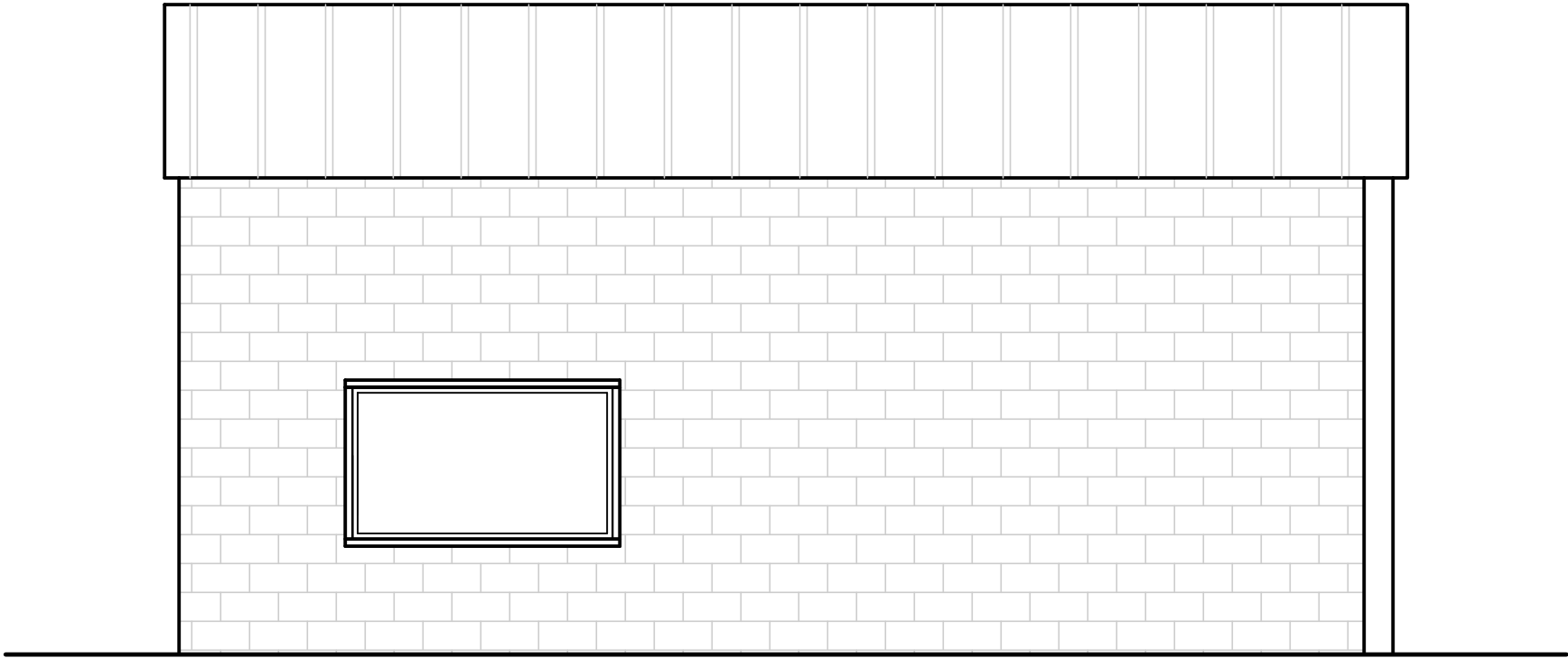
PROJECT TITLE:	3700 CLEVELAND AVENUE WELLINGTON, COLORADO
BUILDER:	THE BBQ LOVE SHACK
DESIGNER:	PRECISION DRAFTING LLC 3376 MAMMOTH COURT, WELLINGTON, COLORADO, 80549 PHONE: (970) 391-1719 EMAIL: predes@hotmail.com
REVISIONS:	
SCALE:	1/4" = 1'-0"
DATE:	APRIL, 2021
FILE NAME:	3700CLEVELAND
PROJECT NUMBER:	1323-01-21
SHEET NO.	2.0



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

DESIGNER:	BUILDER:	PROJECT TITLE:
PRECISION DRAFTING LLC 3376 MAMMOTH COURT, WELLINGTON, COLORADO, 80549 PHONE: (970) 391-1719 EMAIL: predes@hotmail.com	THE BBQ LOVE SHACK	3700 CLEVELAND AVENUE WELLINGTON, COLORADO
REVISIONS:		
SCALE: 1/4" = 1'-0"		
Drawn _WMK_		
DATE: APRIL, 2021		
FILE NAME: 3700CLEVELAND		
PROJECT NUMBER: 1323-01-21		
SHEET NO. 3.0		



Planning Commission Meeting

Date: May 3, 2021
Submitted By: Cody Bird, Planning Director
Subject: Site Plan Review - Lot 1, Block 6, Wellington (3749 Harrison Ave.)

EXECUTIVE SUMMARY

General Location:

- 3749 Harrison Ave., Wellington, CO

Applicant/Agent:

- Applicant: Town of Wellington
- Agent: Chad Arthur, Infusion Architects

Reason for request:

- Approve site plan for Town office space expansion.

Background Information:

- The Town of Wellington is seeking an approval for a site plan to allow construction of a Town office building on the property at 3749 Harrison Ave. The building addition proposed for the site is intended for employee offices.
- The property is zoned TR – Transitional. The TR district is identified in the zoning code as being "intended to encompass existing areas containing a mixture of residential and commercial and/or light industrial uses or areas which are currently older neighborhoods of mostly nonconforming residential structures immediately adjacent to expanding commercial and/or light industrial areas and where it is anticipated the neighborhood will transform over time to consist of entirely, or almost entirely, commercial or light industrial uses."
- The property was purchased by the Town and a conditional use approved for use of the existing residential home to be used for a Town office building. The existing building is currently used as offices for Town staff.
- The Town applied for and obtained approval for a variance to reduce the building setback along 3rd Street.
 - The Board of Adjustments conducted a public hearing on April 22, 2021 and following the public hearing, voted to approve a variance reducing the building setback to 2 feet for the covered entryway and 10 feet for the rest of the building.
 - The variance approval is also subject to a site plan approved by the Planning Commission. The setback variance will become null and void if a site plan is not approved.

BACKGROUND / DISCUSSION

1. Building Setbacks and dimensional standards: The property is within the TR – Transitional Zone District which does not identify specific setbacks to be met. Town staff has recommended that the setbacks applied to the existing residential structure should also be the base setbacks for the property under the TR zone district. Existing minimum setbacks are as follows:

- Front (Harrison Ave.) – 20 ft.
- Rear (alley) – zero ft.
- Side (west) – 7 ft.
- Second side (Third St. side) – 15 ft.

- The Town applied for and obtained a variance to reduce the second side (Third St. side) setback to 2 feet at the covered entryway and 10 feet for the rest of the building, subject to a site plan approval by the Planning Commission.
- The building addition is proposed to be 2-stories and the height would be 32 feet. The proposed building is within the maximum structure height for the surrounding zone districts (max 35 feet).

2. Easements: Proposed buildings and structures do not encroach into any platted easements.

3. Streets and Access: The site is on the corner of Third Street and Harrison Avenue, one block north of Cleveland Avenue. There is an existing driveway to a detached garage accessed from Third Street. The existing detached garage and driveway are proposed to be removed as part of the project. No driveways are proposed for the new site plan. The only vehicular access proposed are 3 diagonal parking spaces on Third Street that are proposed to meet the ADA accessible parking needs for the site.

4. Pedestrian Connection: Sidewalks are required to connect to existing public sidewalks. There are existing sidewalks along Harrison Ave. and Third Street. The existing sidewalks are proposed to remain in place at the northwest and southeast portions of the site. Sidewalks at the corner are proposed to be reconstructed to accommodate the angled parking and to better accommodate pedestrian circulation on the site and to the building entrance.

- Portions of the existing sidewalks are less than the minimum width to meet Town standards. All sidewalks should meet current Town standards for width and should be updated on the revised site plans.
- The sidewalk crossing of the alley adjacent to the site should also be evaluated and considered for replacement if width and ADA accessibility are not satisfied.

5. Parking: Office uses are required to provide a minimum of 1 parking space per each 300 sq. ft. of gross floor area. The proposed building is proposed to have 4,778 sq. ft. of office floor area, so 16 parking spaces are required.

- 3 diagonal parking spaces are proposed on Third Street to allow for an ADA accessible parking space and accessible aisle to serve the site.
- The Town zoning code allows off-street parking spaces for a site if the parking is within 700 feet of the building. Except for the 3 angled parking spaces, other off-street parking needs are proposed to be satisfied using the existing public parking lots at the existing Town Hall building on Cleveland Ave., the public parking lot on the north side of Cleveland Ave.
- Wheel stops for the diagonal parking are proposed to ensure parked vehicles do not obstruct the sidewalk. There is 18 ft. shown from the wheel stop to the back of the parking space. The applicant should verify that there is sufficient space to accommodate a 20 ft. long vehicle to meet the Town's parking stall dimension requirements.
- Parking spaces are not typically allowed to obstruct a road right-of-way. The diagonal parking spaces proposed on Third Street are partially within the right-of-way. The back end of the parking spaces are nearly in alignment with the location for where existing parallel parking is already allowed on Third Street.
- The proximity of the angled parking spaces to the intersection creates an obstruction that may create challenges for southbound traffic. The design engineer should evaluate alternatives for the curb line and/or striping and signage to appropriately address any traffic safety needs. Final design must be approved by the Town engineer.
- The diagonal parking spaces may also impede the sight triangle at the intersection for eastbound traffic on Harrison Ave. The design engineer should evaluate the sight triangle requirements.
- A bicycle rack is proposed, meeting the bicycle parking requirement.

6. Circulation Aisles: There are no vehicle circulation aisles proposed on the site.

7. ADA: ADA Standards for Accessible Design require accessible parking spaces based upon the total number of parking spaces provided on site. When 1-25 parking spaces are provided, a minimum of 1 accessible parking space is required and the one space must be van accessible. The one accessible space provided is a van accessible space, meeting the minimum requirement.

- The ADA van accessible space must be a minimum of 132 inches (11 feet) wide with a minimum adjacent 60-inch (5 feet) wide access aisle. The accessible space provided meets these minimum requirements.

- The applicant or their designated agent shall ensure that all accessible parking spaces and routes meet the requirements of ADA standards including locations, widths, aisles, slopes, signage, and pavement markings. Sufficient details should be included and coordinated in the civil engineering and architectural plans.

8. Signage:

- There are no signs currently identified on the plans. Wall signage or temporary signage may be proposed in the future. The applicant requests that future signage be considered as a building permit application at that time.

9. Site Lighting: A photometric plan was provided with the site plans as required. The Town's maximum illumination level at the property line is 0.1 footcandle. Locations along the north, east, and southern boundaries are shown to be slightly over the 0.1 maximum illumination. Additionally, the Town has a minimum illumination level of 1.0 footcandle for parking areas and pedestrian paths. The slightly higher illumination levels at the property lines may be found to be acceptable because the lighting may help illuminate the sidewalks and parking areas.

10. Landscape/Screening and Buffering: The applicant submitted a landscaping plan as required. Most of the existing trees on or adjacent to the site are proposed to be removed due to condition or to make way for the proposed building. Any trees that are proposed to remain on site should be protected during construction.

- Street Trees: The site is 50 feet wide along Harrison Ave. One street tree is required for each 40 linear feet of street frontage for a minimum requirement of 1 tree. There are two existing trees that may need to be removed due to their condition. If the existing trees are removed, at least one tree should be replaced in addition to the proposed new tree. The site is 132 feet along Third Street, so the requirement is 3 trees. 2 new trees are proposed along Third Street. The reduction to the street trees is requested to accommodate the parking area.
- Site Trees: 1 tree is required for each 1,000 sq. ft. of landscaped area. The site tree requirement is based on the 20% required site landscaping rather than the approximate 32% of actual landscaped area on the site, thus 2 trees are required. The proposed street trees are proposed to meet the site tree requirement as well.
- Shrubs: 1 shrub is required for each 150 sq. ft. of landscaped area, thus 14 shrubs are required and 37 shrubs proposed as well as grasses and perennials, meeting the requirement.
- Parking Lot Trees/Shrubs/Screening:
- No parking lot trees are proposed for this site plan.
- The trash enclosure and electrical transformer are proposed to be screened with grasses. Applicant must ensure the grass height will adequately screen and not impede any service providers from accessing this equipment.
- Other:
- Landscaping installed near the diagonal parking should be verified the height does not interfere with the line of sight for customers backing out onto Third Street. Shrubs proposed will need to be trimmed or replaced with a species not to exceed 30 inches in height.
- Plant species proposed are low-water varieties. Irrigation needs will be satisfied using potable water.

11. Drainage: Drainage from the site will be directed to the flow line of Third Street. Some of the site drainage will be accommodated using a dry well (a storm sewer inlet with an open bottom to allow stormwater to infiltrate into the ground). The proposed dry well is also anticipated to relieve some of the Harrison Ave. stormwater drainage as well. Final grading and drainage details must meet the approval of the Town Engineer.

12. Utilities:

- Town Utilities: There is existing public water and sanitary sewer infrastructure in place to serve the site. The site plan approval is conditioned upon final review and approval by the Town Engineer. All utilities to be abandoned must be done in coordination and with direction from Public Works staff.
- Other Utilities: The applicant is responsible for coordinating with private companies to ensure that all utilities are installed underground.
- Fire District Review: Wellington Fire District staff reviewed the site plans and accept the plans as presented. Building plan review and a permit issued by Wellington Fire Protection District is required prior to construction.



13. Architectural Design Standards: The architectural designs for the building were submitted and are shown on the building elevations and renderings. The building form and massing attempts to transition between the existing structure on site and the commercial structures south of the alley. Architectural design elements include variations in roof lines; projections and recesses; and changes in colors, graphical patterns, and textures. Building materials are proposed to be complimentary to the siding of the existing structure as well as to be consistent with the residential character of the adjacent neighborhoods.

- Air conditioning units (condensers) are located on the west side of the building. The units are behind the walls of the existing building to screen from public view.
- An appropriate 6 ft. tall dumpster enclosure is proposed on the south side of the site. The enclosure is shown as masonry block and does not match the building materials (primarily cement lap siding, metal, and wood). At a minimum the, trash enclosure should be a similar or complimentary color as the building. The gate materials and colors should also be considered.

14. Corrected Plans: If the Planning Commission approves the site plan, the applicant will need to revise the site plan documents to incorporate all corrections or comments, including Town engineering review of the civil plans, and submit revised copies to the Town. Changes on the site plan sheets shall be clouded, and a list of all changes shall be provided, noting which comment each is addressing.

STAFF RECOMMENDATION

Move to approve the site plans for Lot 1, Block 6, Wellington, subject to staff comments.

ATTACHMENTS

1. Location Map
2. Site Plans

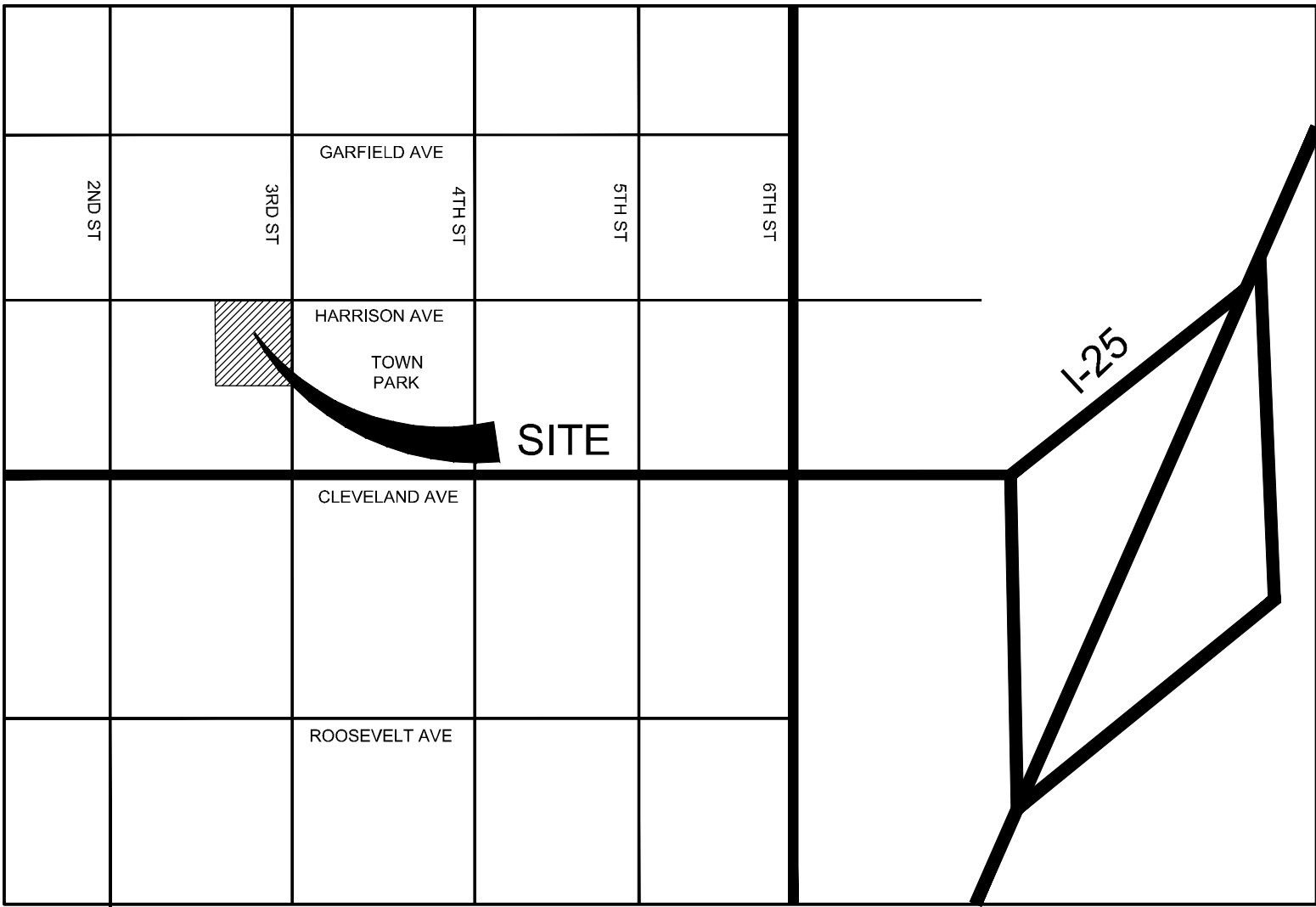
LOCATION MAP

3749 Harrison Ave.
Wellington, CO 80549

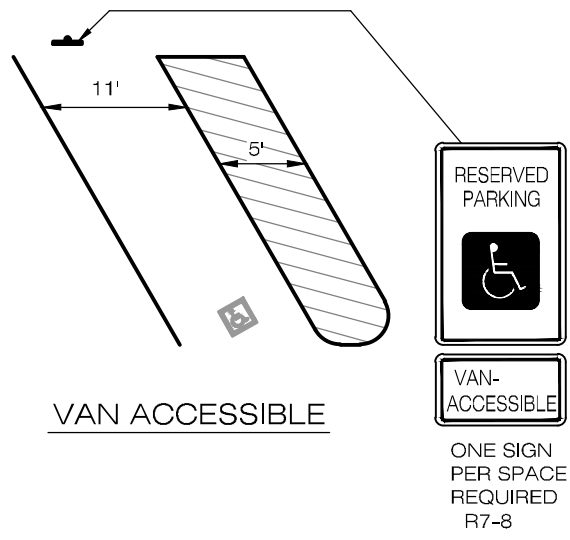


PLAN NOTES

1. REFER TO UTILITY PLANS FOR ALL UTILITY, DRAINAGE, GRADING, EROSION CONTROL AND STREET DESIGN REQUIREMENTS.
2. ANY LIGHTING IS TO BE DESIGNED AS "FULL CUT-OFF".
3. ALL SIGNS SHALL COMPLY WITH THE TOWN OF WELLINGTON SIGN REGULATIONS / SIGN PERMIT REQUIREMENTS.
4. SEE CIVIL PLANS FOR PAVEMENT TYPES AND DEPTHS.
5. THE CONTRACTOR SHALL NOT PURPOSEFULLY PROCEED WITH ANY CONSTRUCTION PER PLANS PROVIDED WHEN OBSTRUCTIONS AND / OR DIFFERENCES EXIST THAT WERE NOT CONSIDERED AND REVIEWED OR APPROVED. CONTRACTOR SHALL NOTIFY OWNER OR OWNER'S REPRESENTATIVE AND THE TOWN OF WELLINGTON IF SITUATION ARISES AND REVISIONS ARE NECESSARY.
6. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND OTHER POLLUTANTS FROM ENTERING ANY STORM WATER SEWER SYSTEM OR, ADJACENT WATER WAYS, ETC., DURING THE DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE EXPENSE OF CORRECTION OF ANY ADVERSE IMPACTS TO THE STORM WATER SEWER SYSTEM OR ADJACENT WATER WAYS, WETLANDS ETC., RESULTING FROM THE WORK DONE AS PART OF THIS PROJECT/CONTRACT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO BIDDING AND CONSTRUCTION, OF BECOMING AWARE OF ALL EXISTING AND PROPOSED UTILITIES, PIPES, STRUCTURES, ETC. CALL UNCC THREE DAYS BEFORE SCHEDULED WORK AT 811 OR 1-922-1987.
8. ANY MONUMENT SIGNAGE TO BE APPROVED THROUGH SEPARATE SIGN PERMIT WITH THE TOWN OF WELLINGTON.
9. KNOX BOX TO BE PROVIDED BY OWNER- LOCATION TO BE DETERMINED BY WELLINGTON FIRE.



VICINITY MAP
NOT TO SCALE

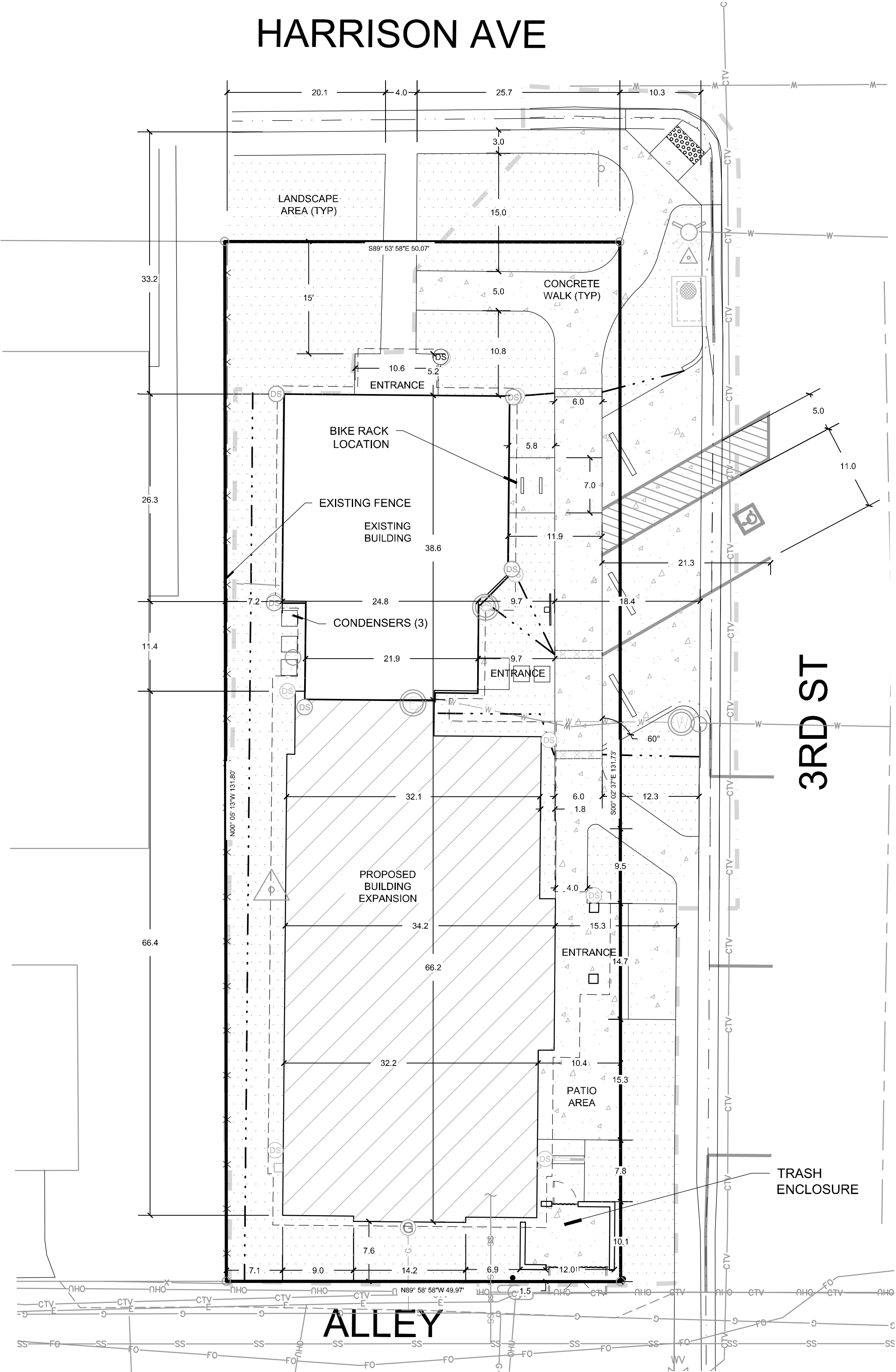


NOTE:
1. BOTTOM OF SIGNAGE SHALL BE MINIMUM 60" ABOVE FINISHED GRADE.

ADA STRIPING AND SIGNING REQUIREMENTS

NOT TO SCALE

SITE DEVELOPMENT PLAN
HARRISON HOUSE EXPANSION
LOT 1, BLOCK 6 WELLINGTON PLACE 1ST SUB
3749 HARRISON AVE, WELLINGTON, CO



SITE PLAN

SCALE: 1" = 10'

SITE DATA:

EXISTING ZONING:(TR) TRANSITIONAL
PROPOSED ZONING: NO CHANGE
ADJACENT ZONING: S = C-2; W = SAME; E = PUBLIC; N = R-2
SITE SF & ACREAGE: 6,600 SF / .15 ACRES
SETBACKS: N = 25'; E = 15'; S = 0'; W = 7'

BUILDING DATA:

EXISTING BUILDING FOOTPRINT 988 SF
1ST FLOOR EXPANSION FOOTPRINT: 2,074 SF
2ND FLOOR EXPANSION: 1,716 SF
OFFICE / ADMIN USE
OCCUPANT LOAD = 62
BUILDING HEIGHT: VARIES, MAX 31'-10"

TOTAL SF: 4,778 SF

LAND USE DATA:

BUILDING FOOTPRINT: 3,062 45.00%
IMPERVIOUS SURFACES: 1,530 22.00%
LANDSCAPE AREA (ON-SITE): 2,029 32.00%

TOTAL: 6,600 SF 100.00%

PARKING SUMMARY:

PARKING REQUIRED / PROVIDED (1/300 SF) : 17 / 5 + ADJACENT
ON-STREET PARKING
BICYCLE PARKING REQUIRED / PROVIDED: 1 / 3
ADA SPACES REQUIRED / PROVIDED: 1 / 1

TOTAL PARKING SPACES REQUIRED / PROVIDED: 5 / 5 + ADJACENT ON-STREET

DEVELOPMENT TEAM:

OWNER / DEVELOPER:
TOWN OF WELLINGTON
WELLINGTON, CO
970-568-3381

PLANNER / LANDSCAPE ARCHITECT:
NATURAL DESIGN SOLUTIONS
5539 COLT DR
LONGMONT, CO 80503
NEIL@NDSCOLORADO.COM

ARCHITECT:
INFUSION ARCHITECTS
206 E 4TH STREET
LOVELAND, CO 80537

CIVIL ENGINEER:
UNITED CIVIL DESIGN GROUP
19 OLD TOWN SQUARE #238
FORT COLLINS, CO 80524

PLANNING COMMISSION APPROVAL

THIS SITE PLAN IS APPROVED, SUBJECT TO ALL CONDITIONS SET FORTH HEREON, BY THE CURRENT PLANNING MANAGER OF THE TOWN OF WELLINGTON, LARIMER COUNTY, COLORADO, THIS _____ DAY OF _____, 20____.

CURRENT PLANNING MANAGER

HARRISON HOUSE EXPANSION
WELLINGTON, CO

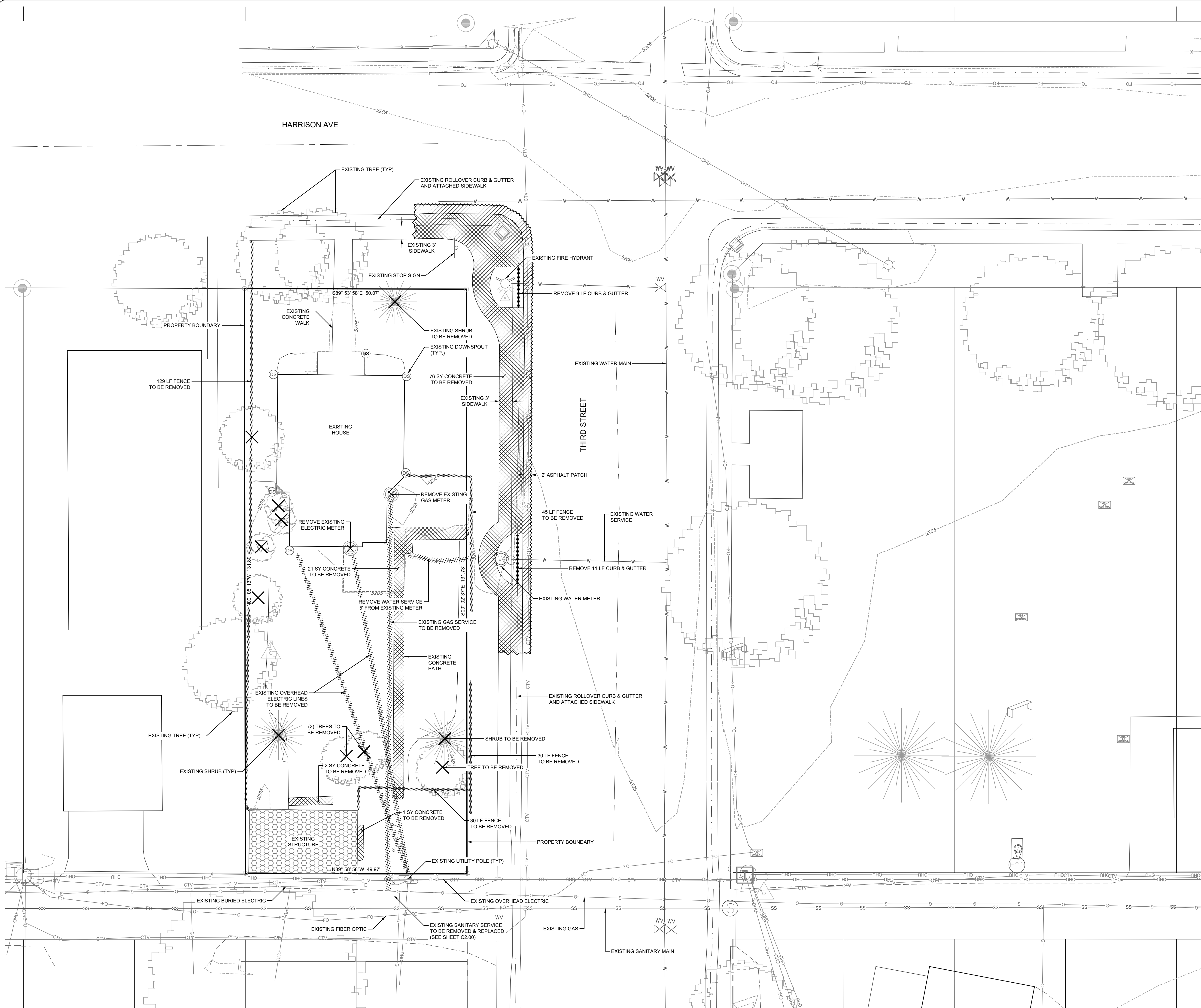
SITE PLAN

REVISIONS:

Site Update:	01.25.21
Bldg. Change:	03.30.21

NDS
NATURAL DESIGN SOLUTIONS
Landscape Architecture
Land Planning • Irrigation Design
5539 Colt Drive, Longmont, CO 80503
(303) 443-0388 • neil@ndscolorado.com

PROJ. NO.:	
DATE:	12.29.20
SCALE:	See Sheet
DRAWN:	JRO
CHKD BY:	NAM
SHEET	S1.0

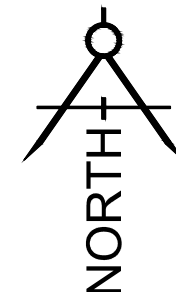


LEGEND

- LOT LINE
 - PROPERTY BOUNDARY
 - RIGHT OF WAY
 - EASEMENT
 - CENTERLINE
 - EXISTING EASEMENT
 - SECTION LINE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING CURB & GUTTER
 - LIMITS OF DISTURBANCE
 - REMOVE EXISTING CURB & GUTTER
 - REMOVE EXISTING FENCE
 - SAWCUT LINE
 - REMOVE EXISTING UTILITY LINE
 - REMOVE EXISTING UTILITY STRUCTURE
 - REMOVE EXISTING TREE
 - REMOVE & PATCH EXISTING ASPHALT
 - REMOVE EXISTING BUILDING
 - REMOVE & REPLACE EXISTING CONCRETE
- #### EXISTING UTILITIES
- GAS LINE
 - WATER LINE
 - SANITARY SEWER LINE
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND FIBER/TELECOM LINE
 - UNDERGROUND CABLE TV LINE
 - SANITARY SEWER MANHOLE
 - CABLE, GAS, ELECTRIC, OR TELEPHONE PEDESTALS
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - WATER SERVICE CURB STOP

NOTES

- THE CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES THAT ARE NOT TO BE REMOVED ADJACENT TO THE CONSTRUCTION AREA INCLUDING, BUT NOT LIMITED TO, PAVEMENT, PRIVATE FENCES, ABOVE GROUND OR UNDERGROUND UTILITIES, STRUCTURES, AND UNDERGROUND FOUNDATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT SHOULD OCCUR TO ANY ON-SITE, OFF-SITE, PUBLIC OR PRIVATE FACILITY OR FEATURE AS A RESULT OF THE CONSTRUCTION PROCESS FOR THIS PROJECT.
- EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO ANY CONSTRUCTION TO VERIFY EXACT UTILITY LOCATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE FIELD CONDITIONS ARE AS SHOWN IN THE DRAWINGS. IF THE CONTRACTOR FINDS DISCREPANCIES THE CONTRACTOR SHALL CONTACT THE ENGINEER.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ITEMS IMPACTING ADJACENT PROPERTIES WITH THE PROPERTY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL COORDINATE ALL UTILITY DEMOLITION AND/OR RELOCATION ITEMS WITH THE APPROPRIATE UTILITY PROVIDER PRIOR TO BEGINNING ANY ONSITE DEMOLITION.
- ALL UTILITY CUTS, BACKFILL, PAVEMENT PATCHING, AND REPAIRS OF PAVEMENT CUTS TO COMPLY WITH TOWN OF WELLINGTON STANDARDS.
- LIMITS OF STREET CUT AS REQUIRED FOR UTILITY CONSTRUCTION ARE TO BE DETERMINED IN THE FIELD BY THE TOWN ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH TOWN STREET REPAIR STANDARDS.
- ALL REPAIRS RELATED TO ROAD IMPROVEMENTS SHALL BE IN ACCORDANCE WITH TOWN STREET REPAIR STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPING AND COORDINATING A TRAFFIC CONTROL PLAN WITH THE TOWN OF WELLINGTON FOR ANY WORK DONE WITHIN PUBLIC RIGHT OF WAY.
- CURB, GUTTER AND SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT.
- ALL DISTURBED AREAS NOT PAVED SHALL BE REVEGETATED PER THE LANDSCAPE PLANS EROSION CONTROL PRACTICES, SITE PROTECTION, AND REVEGETATION METHODS SHALL FOLLOW TOWN REGULATIONS.



SCALE: 1" = ##'
VERTICAL: 1" = N/A
HORIZONTAL: 1" = ##'

3749 HARRISON EXPANSION EXISTING CONDITIONS & REMOVALS PLAN

**PRELIMINARY
PLANS**
NOT FOR CONSTRUCTION

SHEET NUMBER
C1.00

3 OF 8 SHEETS

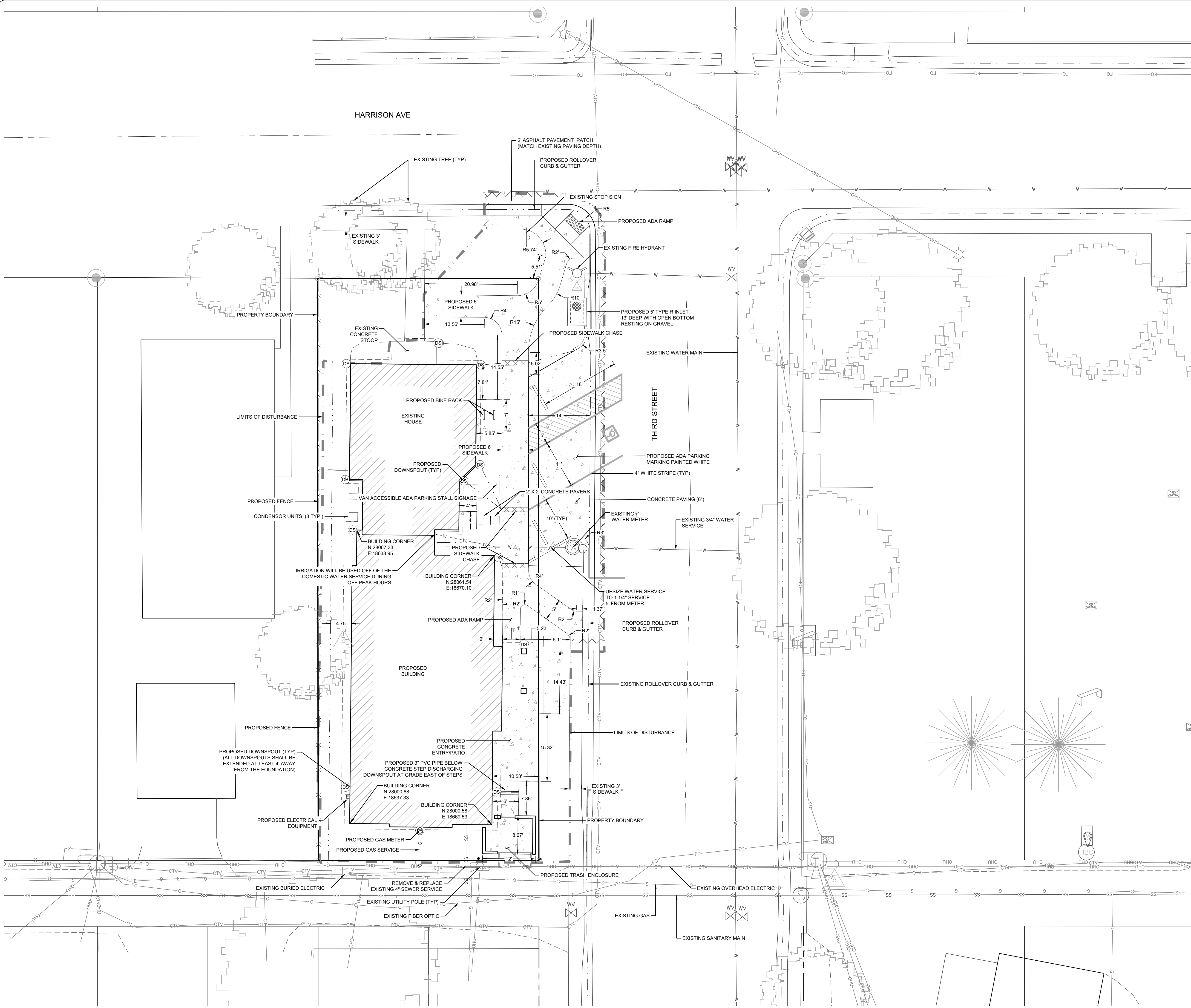
SCALE
VERTICAL: 1" = N/A
HORIZONTAL: 1" = ##'

JOB NUMBER
U20028

DATE SUBMITTED: 3/26/2021

PREPARED FOR: TOWN OF WELLINGTON

CAUTION
The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the engineer of these plans.



LEGEND

SITE

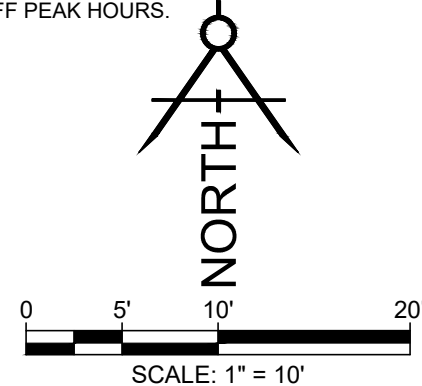
- PROPOSED BUILDING
- EXISTING PROPERTY BOUNDARY
- CATCH CURB & GUTTER
- SIDEWALK/TRAIL
- FENCE
- SIGN
- PARKING STALL STRIPING
- HANDICAP PARKING STALL
- LIGHT POLE
- ASPHALT PAVEMENT
- LIMITS OF DISTURBANCE

UTILITY

- WATER MAIN
- FIRE DEPARTMENT CONNECTION
- SANITARY SERVICE AND CLEANOUT
- DOWNSPOUT, ROOF DRAIN, AND ROOF OVERFLOW
- ELECTRIC LINE AND TRANSFORMER
- FIBER OPTIC LINE
- FIBER, GAS, ELECTRIC, OR TELEPHONE PEDESTAL
- GAS LINE AND METER

NOTES

- THE CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES THAT ARE NOT TO BE REMOVED ADJACENT TO THE CONSTRUCTION AREA INCLUDING, BUT NOT LIMITED TO, PAVEMENT, PRIVATE FENCES, ABOVE GROUND OR UNDERGROUND UTILITIES, STRUCTURES, AND UNDERGROUND FOUNDATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT SHOULD OCCUR TO ANY ON-SITE, OFF-SITE, PUBLIC OR PRIVATE FACILITY OR FEATURE AS A RESULT OF THE CONSTRUCTION PROCESS FOR THIS PROJECT.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ITEMS IMPACTING ADJACENT PROPERTIES WITH THE PROPERTY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- FOR BUILDING LAYOUT REFERENCE ARCHITECTURAL PLANS. LAYOUT AND DIMENSION INFORMATION SHOWN REPRESENTS OUTSIDE FACE OF WALL AS PROVIDED BY THE ARCHITECT AND IS SHOWN FOR INFORMATION ONLY.
- ALL DIMENSIONS AND LINE AND CURVE INFORMATION ARE MEASURED TO CURB FLOW LINE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO AND COORDINATE WITH THE APPROVED LANDSCAPE DRAWINGS FOR ALL LANDSCAPE AND SITE FEATURES SUCH AS BIKE RACKS, TRASH RECEPTACLES, LANDSCAPE WALL, CONSTRUCTION DETAILS, COLORED AND SCORED CONCRETE, LANDSCAPE ROCK AND MULCH, ETC.
- ALL HANDICAP RAMPS (PRIVATE AND PUBLIC) SHALL BE INSTALLED WITH TRUNCATED DOME WARNING DETECTION SYSTEMS.
- SEE SOILS REPORT AND TOWN STANDARDS & SPECIFICATIONS FOR PAVEMENT AND SUBGRADE PREPARATION, DESIGN, AND RECOMMENDATIONS.
- CONCRETE SIDEWALKS SHALL BE 6-INCH MINIMUM THICKNESS. ON-SITE CONCRETE PATIO SHALL BE 5-INCH MINIMUM THICKNESS UNLESS OTHERWISE NOTED.
- LIMITS OF STREET CUT AS REQUIRED FOR UTILITY CONSTRUCTION ARE TO BE DETERMINED IN THE FIELD BY THE TOWN ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH TOWN STREET REPAIR STANDARDS.
- CURB AND GUTTER ALONG HARRISON AVENUE AND THIRD STREET TO BE RECONSTRUCTED SHALL BE RECONSTRUCTED USING THE EXISTING CURB SECTION INCLUDING EDGE OF PAVEMENT LOCATION, DEPTH OF GUTTER AND HEIGHT OF CURB.
- ALL EXISTING UTILITIES ARE APPROXIMATELY SHOWN AND LOCATIONS NEED TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- WATER SERVICE SHALL BE 3/4" INCH AND 1 1/2" TYPE K COPPER UNLESS OTHERWISE NOTED.
- SANITARY SEWER SERVICES SHALL BE 4" PVC SDR 35 PVC UNLESS OTHERWISE NOTED.
- THE PROPOSED CONSTRUCTION WILL BE IN CLOSE PROXIMITY TO SEVERAL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY PROVIDERS PRIOR TO AND DURING CONSTRUCTION TO MINIMIZE SERVICE INTERRUPTIONS TO SURROUNDING BUILDINGS OR PROPERTIES.
- THE PLUMBING CONTRACTOR SHALL TERMINATE UTILITY LATERALS 6' OUTSIDE OF BUILDING UNLESS NOTED OTHERWISE. EXACT LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL UTILITY CONNECTIONS INTO THE PROPOSED BUILDING SHALL BE COORDINATED WITH APPROVED ARCHITECTURAL DRAWINGS.
- REFER TO APPROVED SITE ELECTRICAL PLANS FOR ALL LIGHTING, TELECOM CONDUITS (PHONE, TELEVISION AND FIBER) AND POWER LINE ROUTING FOR SITE LIGHTING.
- IRRIGATION WILL BE USED OFF OF THE DOMESTIC WATER SERVICE DURING OFF PEAK HOURS.



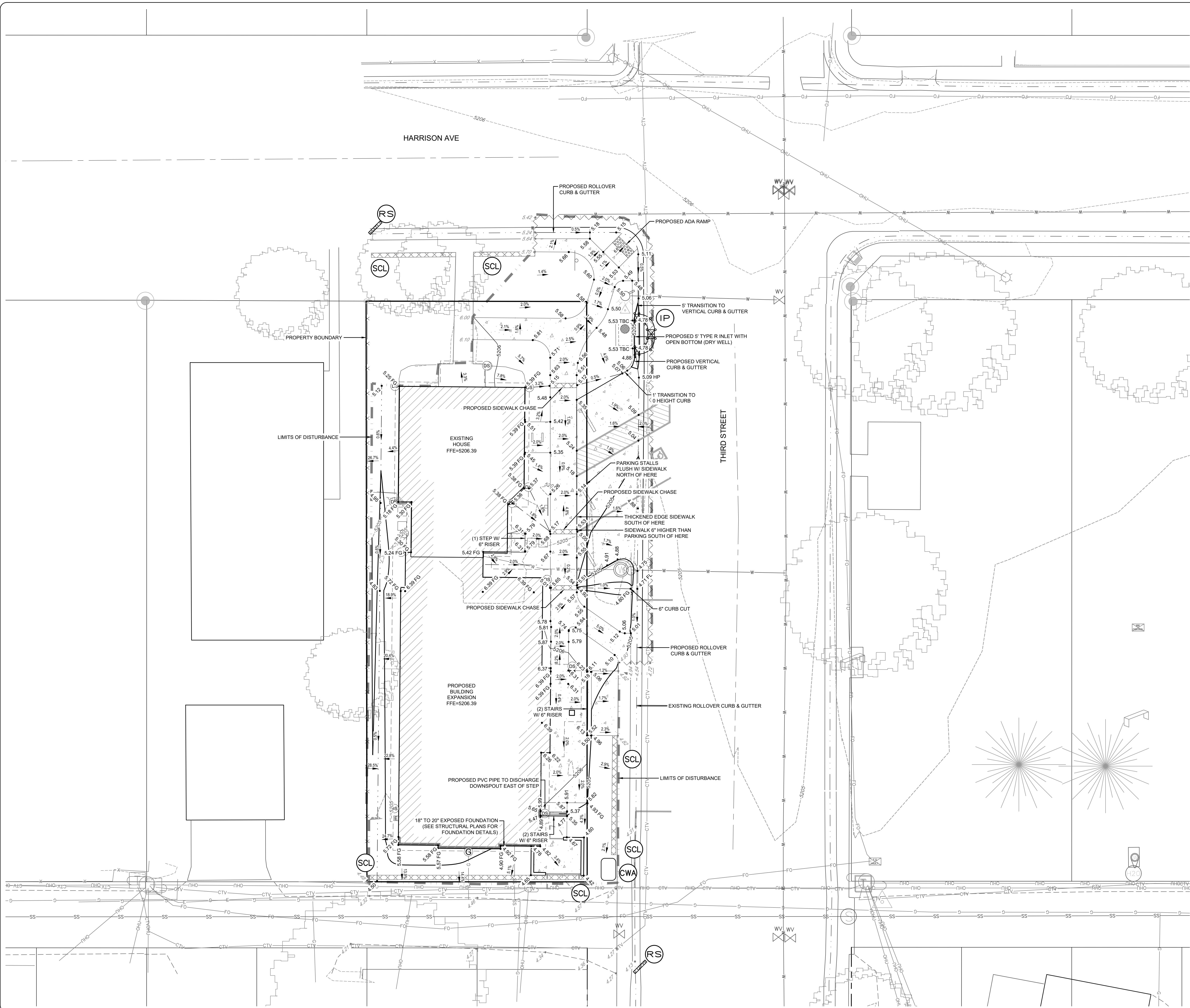
3749 HARRISON EXPANSION
HORIZONTAL CONTROL & UTILITY PLAN

PRELIMINARY
NOT FOR CONSTRUCTION

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

DATE SUBMITTED: 3/26/2021

PREPARED FOR: TOWN OF WELLINGTON

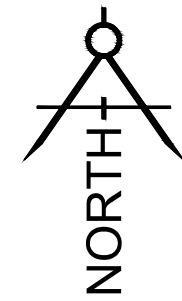


LEGEND

- 4780 — PROPOSED MAJOR CONTOUR
— 4778 — PROPOSED MINOR CONTOUR
— — SWALE FLOWLINE
 IP INLET PROTECTION
 RS ROCK SOCK
 PS PERMANENT SEEDING
 CWA CONCRETE WASHOUT AREA
 SCL SEDIMENT CONTROL LOG
PROPOSED SPOT ELEVATION
FFE = FINISHED FLOOR ELEVATION
FG = FINISHED GRADE AT EXTERIOR WALL
EOP = EDGE OF PAVEMENT
LP = LOW POINT
HP = HIGH POINT
TOW = TOP OF WALL
BOW = BOTTOM OF WALL
EXISTING GRADE
10.0% PROPOSED SLOPE
(10.0%)(4.0:1) EXISTING SLOPE
--- GRADE BREAK
--- LIMITS OF DISTURBANCE
 PROPOSED BUILDING PAD

NOTES

- EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO ANY CONSTRUCTION TO VERIFY EXACT UTILITY LOCATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES THAT ARE NOT TO BE REMOVED ADJACENT TO THE CONSTRUCTION AREA INCLUDING, BUT NOT LIMITED TO, PAVEMENT, PRIVATE FENCES, ABOVE GROUND OR UNDERGROUND UTILITIES, STRUCTURES, AND UNDERGROUND FOUNDATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT SHOULD OCCUR TO ANY ON-SITE, OFF-SITE, PUBLIC OR PRIVATE FACILITY OR FEATURE AS A RESULT OF THE CONSTRUCTION PROCESS FOR THIS PROJECT.
- ALL DISTURBED AREAS NOT PAVED SHALL BE REVEGETATED PER THE LANDSCAPE PLANS EROSION CONTROL PRACTICES, SITE PROTECTION, AND REVEGETATION METHODS SHALL FOLLOW TOWN REGULATIONS.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ITEMS IMPACTING ADJACENT PROPERTIES WITH THE PROPERTY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION ON SEEDING/PLANTING, REVEGETATION, EROSION FABRIC/BLANKETS, IRRIGATION, HARDSCAPE AND OTHER TEMPORARY AND PERMANENT SITE STABILIZATION METHODS.
- STREET SWEEPING SHALL BE PERFORMED AS NEEDED AND/OR AT THE DIRECTION OF THE TOWN ENGINEERING INSPECTOR.
- ALL PAVEMENT SLOPES IN HANDICAP PARKING STALL AND LOADING ZONE SHALL NOT EXCEED 2%.
- ALL SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPES SHALL NOT EXCEED 5%. RAMP CROSS SLOPES SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPES SHALL NOT EXCEED 8.33%.



0 5' 10' 20'
SCALE: 1" = 10'

3749 HARRISON EXPANSION GRADING PLAN

**PRELIMINARY
PLANS**
NOT FOR CONSTRUCTION

SHEET NUMBER

C3.00

5 OF 7 SHEETS

SCALE

VERTICAL: 1" = N/A

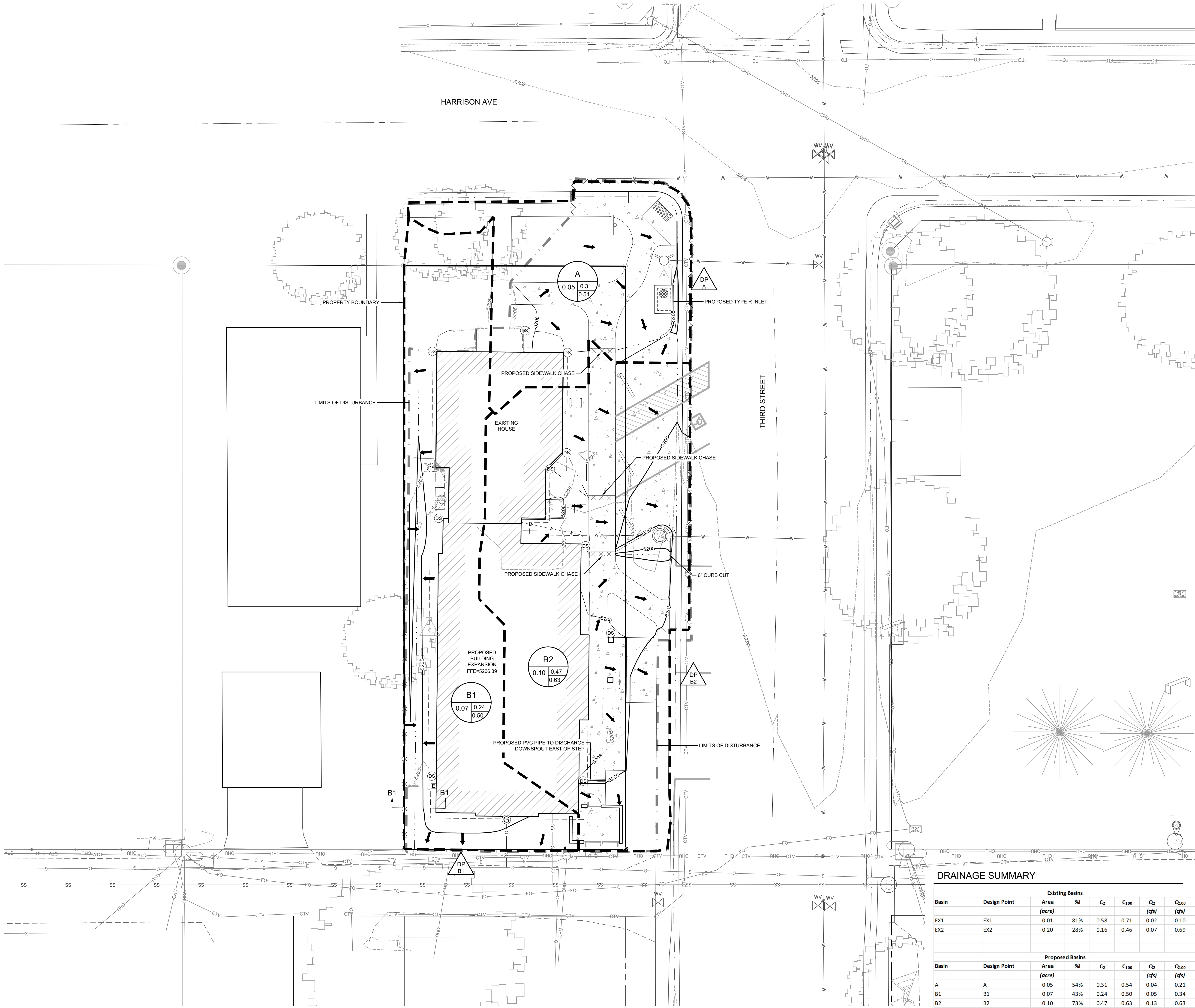
HORIZONTAL: 1" = 10'

JOB NUMBER

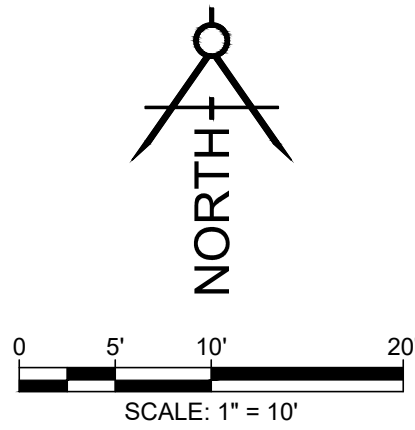
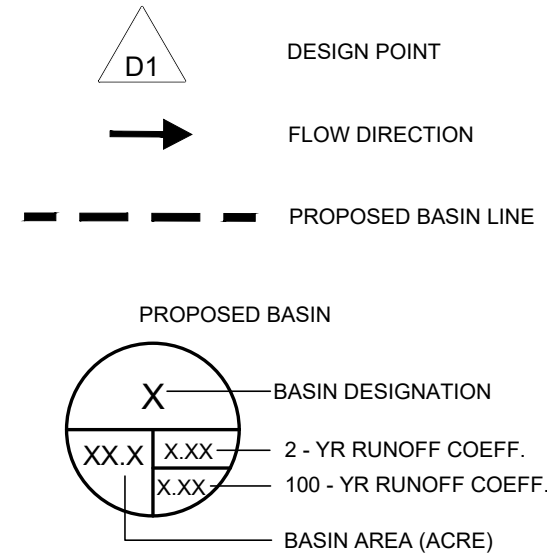
U20028

DATE SUBMITTED: 1/29/2021

PREPARED FOR: TOWN OF WELLINGTON



LEGEND



DRAINAGE SUMMARY

Basin	Design Point	Existing Basins					
		Area (acre)	%I	C ₂	C ₁₀₀	Q ₂ (cfs)	Q ₁₀₀ (cfs)
EX1	EX1	0.01	81%	0.58	0.71	0.02	0.10
EX2	EX2	0.20	28%	0.16	0.46	0.07	0.69
Basin	Design Point	Proposed Basins					
		Area (acre)	%I	C ₂	C ₁₀₀	Q ₂ (cfs)	Q ₁₀₀ (cfs)
A	A	0.05	54%	0.31	0.54	0.04	0.21
B1	B1	0.07	43%	0.24	0.50	0.05	0.34
B2	B2	0.10	73%	0.47	0.63	0.13	0.63



NO.	BY	DATE	REVISIONS

3749 HARRISON EXPANSION
DRAINAGE PLAN

PRELIMINARY
PLANS
NOT FOR CONSTRUCTION

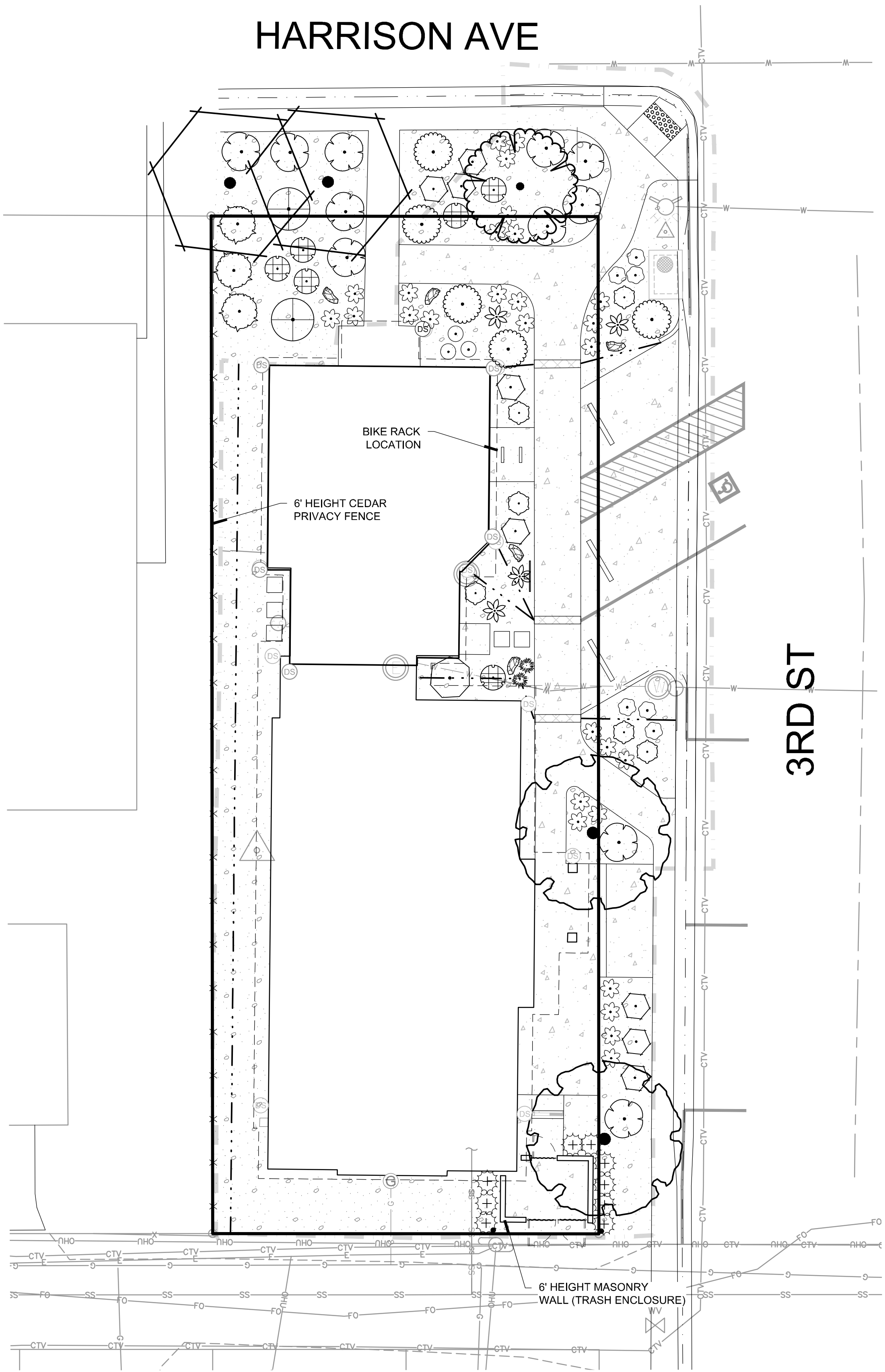
SHEET NUMBER	C4.00
6 OF 8 SHEETS	
SCALE	
VERTICAL: 1" = N/A	
HORIZONTAL: 1" = 10'	
JOB NUMBER	U20028

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

DATE SUBMITTED: 3/26/2021

PREPARED FOR: TOWN OF WELLINGTON

SITE DEVELOPMENT PLAN
HARRISON HOUSE EXPANSION
LOT 1, BLOCK 6 WELLINGTON PLACE 1ST SUB
3749 HARRISON AVE, WELLINGTON, CO



LANDSCAPE PLAN
SCALE: 1" = 10'

PLANT SCHEDULE

QTY FOR REFERENCE ONLY. VERIFY ALL COUNTS PER PLAN				
TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	2	CATALPA SPECIOSA 'HEARTLAND' / HEARTLAND NORTHERN CATALPA AKA 'HIAWATHA 2'	B & B	2" CAL
	1	CELTIS OCCIDENTALIS 'PRAIRIE SENTINEL' / UPRIGHT HACKBERRY JFS-KSU1	B & B	2" CAL
	2	TO REMAIN- PROTECT DURING CONSTRUCTION / EXISTING TREE TO REMAIN	EX	
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	
	6	AMORPHA CANESCENS / LEADPLANT	2 GAL	
	5	ARCTOSTAPHYLOS X COLORADOENSIS 'PANCHITO' / PANCHITO MANZANITA	5 GAL	
	2	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' / FERNBUSH	5 GAL	
	8	ERICAMERIA NAUSEOSA SPECIOSA / DWARF BLUE RABBITBRUSH	5 GAL	
	4	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	
	6	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / DWARF RUSSIAN SAGE	5 GAL	
	1	PHILADELPHUS LEWISII 'CHEYENNE' / LEWIS MOCK ORANGE	5 GAL	
	11	PRUNUS BESSEYI 'PAWNEE BUTTES' / SAND CHERRY	5 GAL	
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	
	28	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	1 GAL	
	2	NASSELLA TENUSSIMA / TEXAS NEEDLE GRASS	1 GAL	
	9	PANICUM VIRGATUM 'DALLAS BLUES' / DALLAS BLUES SWITCH GRASS	1 GAL	
	3	SPOROBOLUS WRIGHTII / BIG SACATON	1 GAL	
PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE	
	3	AQUILEGIA CHRYSANTHA / GOLDEN COLUMBINE	1 GAL	
	6	CALLIRHOE INVOLUCRATA / WINE CUPS	1 GAL	
MULCHES	QTY	BOTANICAL / COMMON NAME	CONT	
	3,256 SF	ROCK MULCH / RIVER ROCK MIXTURE ROCK MULCH MIXTURE OF 1" AND SQUEEGEE SIZED ROCK FOR INFILTRATION OF RAIN WATER	MULCH	
		DECORATIVE LANDSCAPE BOULDER		

CODE ANALYSIS
LOT SIZE: 6,600 SF
% OPEN SPACE REQUIRED / PROVIDED (20%): 1,320 / 2,089 (32%)
1 TREE PER 1000 SF LANDSCAPED AREA = 2 PROVIDED
1 SHRUB PER 150 SF AREA = 14 REQUIRED / 14 PROVIDED (+ADDTL FOR 75% COVERAGE)
PARKING SPACES PROVIDED = 5 + OFF-SITE SHARED PARKING

PLANNING COMMISSION APPROVAL
THIS SITE PLAN IS APPROVED, SUBJECT TO ALL
CONDITIONS SET FORTH HEREON, BY THE CURRENT
PLANNING MANAGER OF THE TOWN OF WELLINGTON,
LARIMER COUNTY, COLORADO, THIS _____ DAY
OF _____, 20____.
CURRENT PLANNING MANAGER _____

HARRISON HOUSE EXPANSION
WELLINGTON, CO
LANDSCAPE PLAN

PROJ. NO.:
DATE: 12.29.20
SCALE: See Sheet
DRAWN: JRO
CHKD BY: NAM
SHEET L10

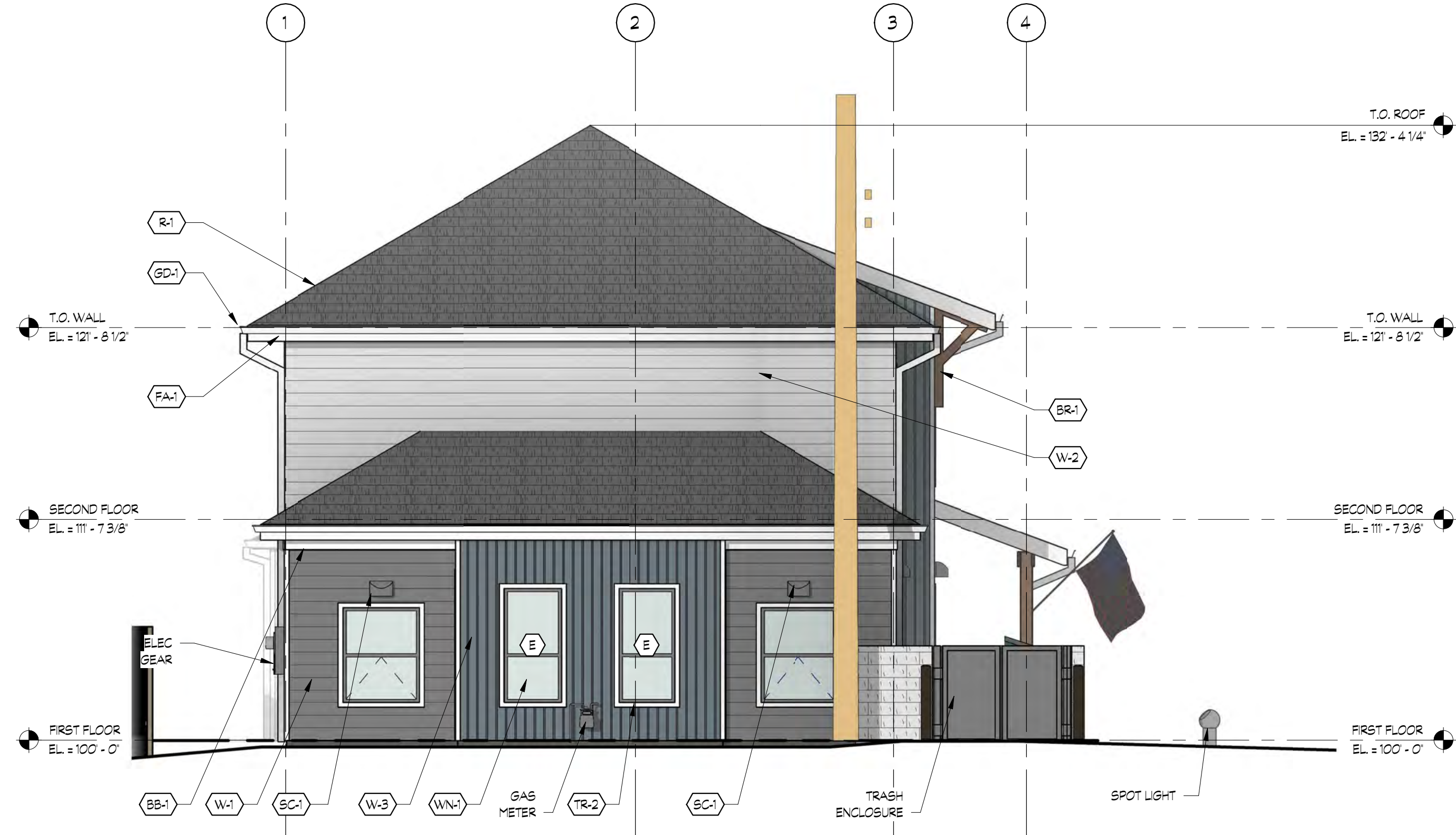
REVISIONS:
Site Update: 01.25.21
Bldg. Change: 03.30.21

NDS
NATURAL DESIGN SOLUTIONS
Landscape Architecture
Land Planning • Irrigation Design
5639 Colt Drive, Longmont, CO 80503
(303) 443-0366 • ned@indecolorado.com

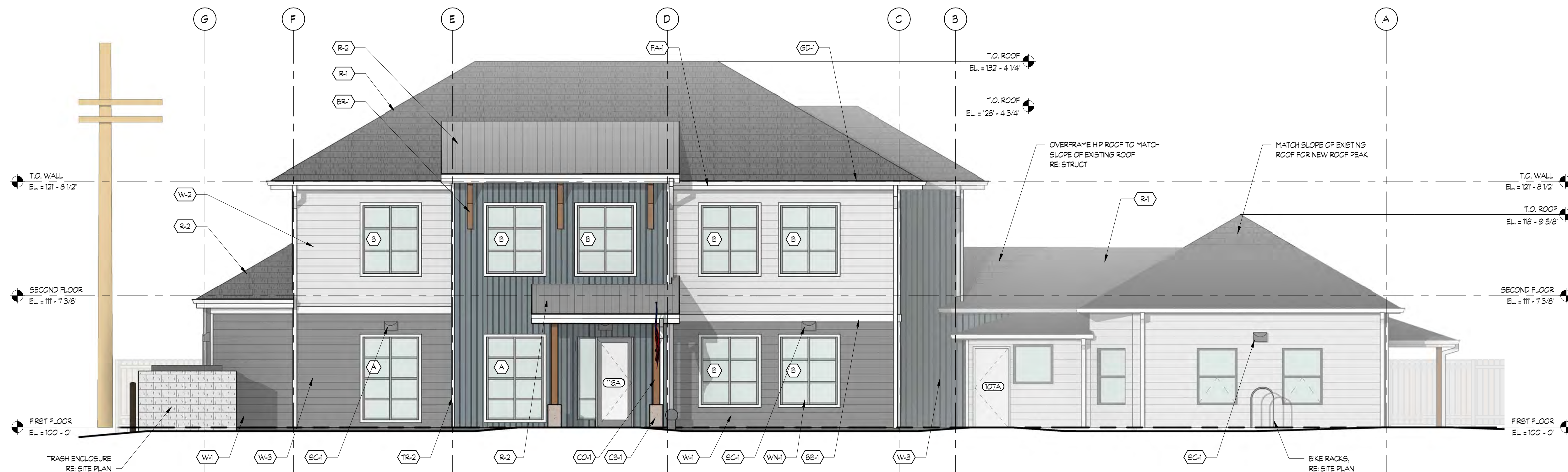


11
A4.1
SOUTHEAST PERSPECTIVE

EXTERIOR MATERIALS					
KEYNOTE	MATERIAL	MANUFACTURER	PRODUCT NAME	COLOR NAME	REMARKS
BB-1	8" FCB BELLY BAND			WHITE	
BR-1	WOOD BRACKET			STAINED	RE WALL SECTIONS
CB-1	CONCRETE COLUMN BASE				26"x26"x30" CONCRETE BASE
CO-1	WOOD COLUMN			STAINED	8"x8" ROUGH-SAWN TIMBER COLUMN
FA-1	8" FCB FASCIA				
GD-1	PRE-FINISHED METAL GUTTER & DOWNSPOUT				
R-1	ASPHALT SHINGLE ROOF				RE ROOF PLAN
R-2	PRE-FINISHED STANDING SEAM METAL ROOF				RE ROOF PLAN
SC-1	EXTERIOR SCONCE LIGHT				
TR-1	3" FIBER CEMENT BOARD TRIM			GRAY	
TR-2	3" FIBER CEMENT BOARD TRIM			WHITE	
W-1	FIBER CEMENT BOARD LAP SIDING			GRAY	
W-2	FIBER CEMENT BOARD LAP SIDING			WHITE	
W-3	BOARD & BATTEN SIDING				
WN-1	COMMERCIAL FLANGED WINDOWS				



13
A4.1
SOUTH ELEVATION
3/16" = 1'-0"



16
A4.1
EAST ELEVATION
3/16" = 1'-0"

SITE REVIEW

Issued For SD:	12/16/2020
Issued For DD:	01/14/2021
Issued For Permit:	04/06/2021
Issued For Construction:	
Revision Number	Revision Date

Seal:

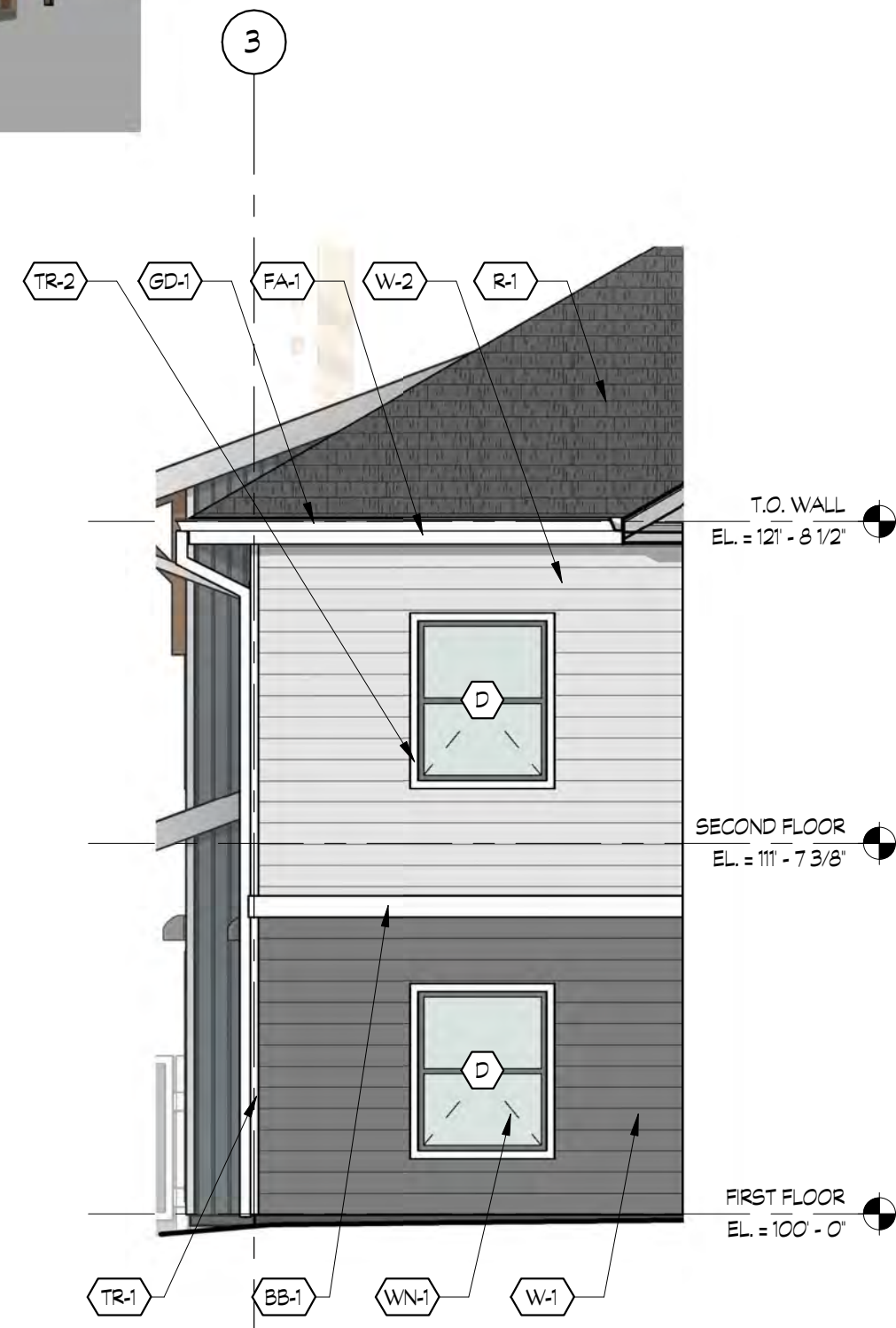
20042

Plot Date: 4/6/2021 2:31:59 PM

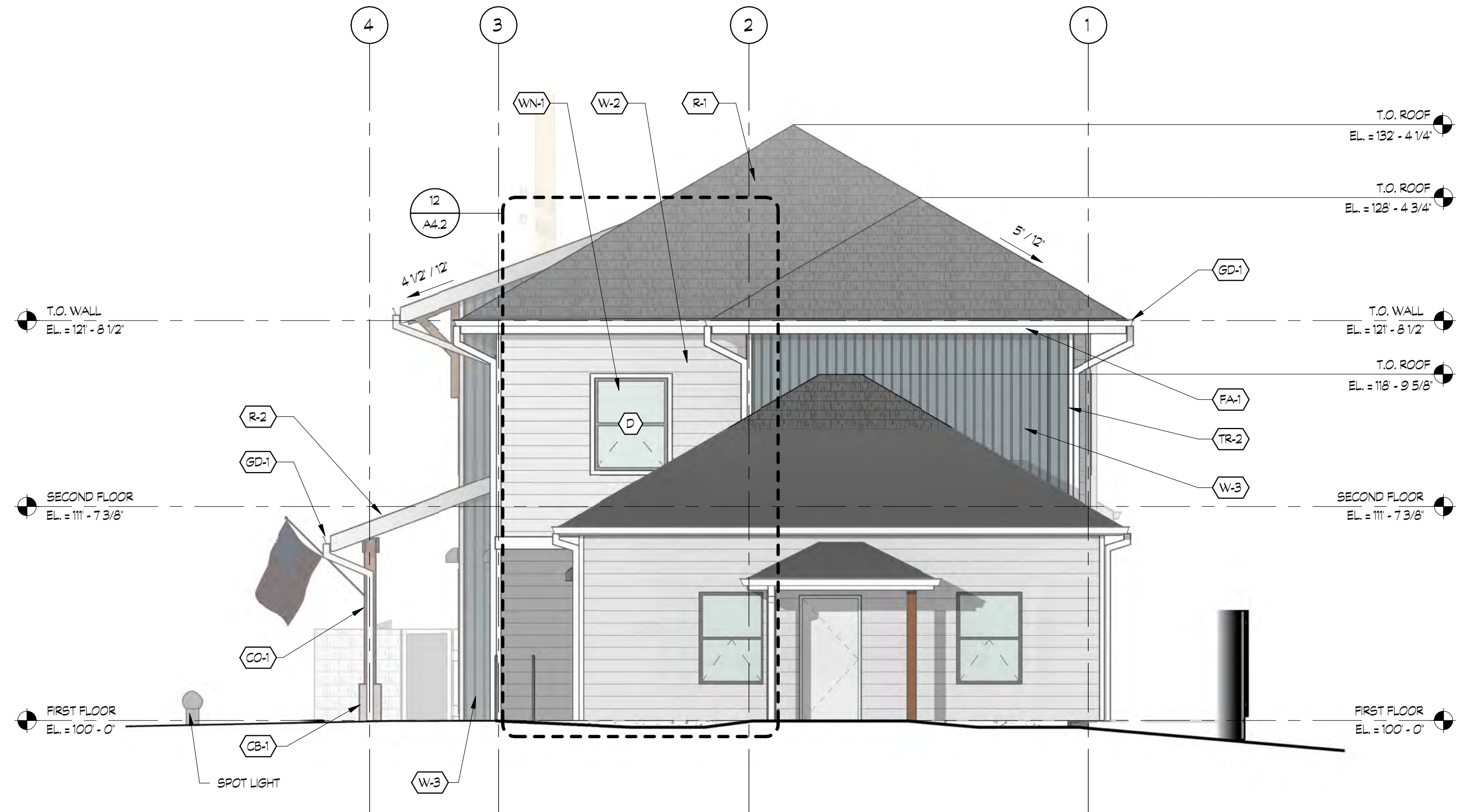


1
A4.2
NORTHEAST PERSPECTIVE

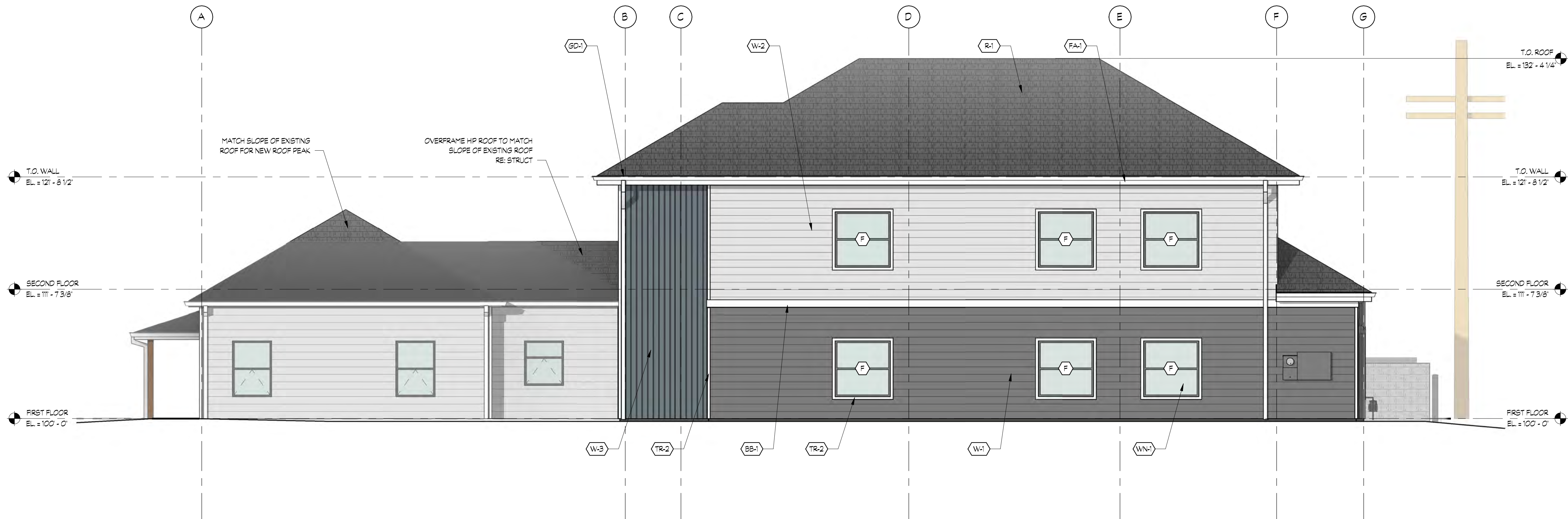
EXTERIOR MATERIALS					
KEYNOTE	MATERIAL	MANUFACTURER	PRODUCT NAME	COLOR NAME	REMARKS
BB-1	8" FCB BELLY BAND			WHITE	
BR-1	WOOD BRACKET			STAINED	RE WALL SECTIONS
CB-1	CONCRETE COLUMN BASE				26"x26"x30" CONCRETE BASE
CO-1	WOOD COLUMN			STAINED	8"x8" ROUGH-SAWN TIMBER COLUMN
FA-1	8" FCB FASCIA				
GD-1	PREFINISHED METAL GUTTER & DOWNSPOUT				
R-1	ASPHALT SHINGLE ROOF				RE ROOF PLAN
R-2	PREFINISHED STANDING SEAM METAL ROOF				RE ROOF PLAN
SC-1	EXTERIOR SCONCE LIGHT				
TR-1	3" FIBER CEMENT BOARD TRIM			GRAY	
TR-2	3" FIBER CEMENT BOARD TRIM			WHITE	
W-1	FIBER CEMENT BOARD LAP SIDING			GRAY	
W-2	FIBER CEMENT BOARD LAP SIDING			WHITE	
W-3	BOARD & BATTEN SIDING				
WN-1	COMMERCIAL FLANGED WINDOWS				



12
A4.2
3/16" = 1'-0"
NORTH ELEVATION - DETAILED VIEW



13
A4.2
3/16" = 1'-0"
NORTH ELEVATION



16
A4.2
3/16" = 1'-0"
WEST ELEVATION

SITE REVIEW

Issued For SD:	12/16/2020
Issued For DD:	01/14/2021
Issued For Permit:	04/06/2021
Issued For Construction:	
Revision Number	Revision Date

Seal:

20042

Plot Date: 4/6/2021 2:32:40 PM

Project	Catalog #	Type	CC
Prepared by	Notes	Date	



Lumière EON 303-B1-LEDB1

Bollard

Typical Applications

• Hospitality • Commercial Landscape • Outdoor Area/Site • Residential • Architectural

Product Certification



Product Features



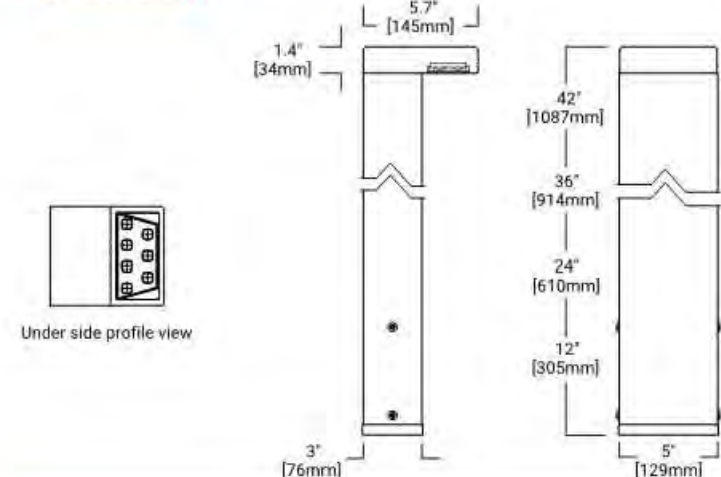
Interactive Menu

- Order Information page 2
- Product Specifications page 2
- Lumen Maintenance page 3
- Product Warranty

Top Product Features

- Full Cut Off Downlight, 12", 24", 36" or 42" height
- 2700K, 3000K or 3500 or 4000K Color Temperature and Amber (585-595nm)
- Type II, Type IV or Type V Optics with clear glass sealed lens
- Patented AccuLED Optics™ System
- Universal Input LED Driver Included (120 - 277V, 50/60 Hz)
- ELV or 0-10 Dimming

Dimensions



TECHNICAL DATA
50°C Maximum Temperature Rating
External Supply Wiring 50°C Maximum



PS26203EN, page 1
Rev 02/2020

Lumière EON 303 B1-LEDB1

Order Information

SAMPLE ORDER NUMBER: 303-B1-LEDB1-2700-120-T2-DIM10-BK-42-EDGE-PC1-RFL-LAB

Series	Color Temperature	Input Voltage	Optics	Dimming	Finish	Height	Options
303-B1-LEDB1	2700K/2700K 3000K/3000K 3500K/3500K 4000K/4000K	UNV-120 277V 10 120-120V 277-277V 10	T2-Type II, Lateral Throw T4-Type IV, Forward Throw TSX-Type V, Extra Wide Flood	DMELV-Trailing Edge Phase Dimmable Driver DM10-0-10V Dimming Input	Painted BK-Black BZ-Bronze CS-City Silver WT-White Premium Paint AP-Grey DP-Dark Platinum GM-Graphite Metallic	12-12" 10 24-24 36-36 42-42	EDGE-Edge 10 glass lens, PC1-Photocontrol 120V 10 PC2-Photocontrol 208-277V 10 BB-Bellows - In Use (120V Only) 10 RFL-Reflective - RFL (120V Only) 10 LAB-Lens Access Bells & Template 10
Notes	Notes	Notes	Notes	Notes	Notes	Notes	Notes

Product Specifications

Construction

- The head of the 303-B1-LEDB1 is precision machined from corrosion resistant 6061-T6 aluminum
- Body is extruded aluminum and adjustable mounting base is cast from corrosion resistant aluminum alloy
- Stainless steel hardware is included
- Four (4) 3/8" x 12" galvanized anchor bolts and a galvanized steel anchor bolt template are standard
- Specify option -LAB and order the anchor bolt/ template kit separately (Catalog 7581-01FK)

Optical

- LightBAR™ and optical assembly are sealed by a clear, impact resistant tempered glass lens
- The optical assembly is available in three distributions: T2 (lateral throw), T4 (forward throw) and TSX (Flood)
- Available in several color temperatures: 2700K, 3000K, 3500K, 4000K and TSAM (Amber)
- Both color temperature and distribution must be specified when ordering - see catalog logic for details
- edge-it option is available

Electrical

- The bollard is standard with an ELV trailing edge phase dimmable driver that accepts a universal input (120-277, 50/60Hz)
- An optional 0-10V universal dimming driver is also available
- Both driver options incorporate surge protection
- The receptacle option incorporates a specification grade, 120V, 1.5A tamper proof and weather resistant duplex GFCI
- The photocell option comes in either a 120V or 277V
- Please see Option section for more detail

Finish

- Luminaire and mounting base are double protected by a RoHS compliant chemical film undercoating and polyester powdercoat paint finish
- The mounting base is painted black
- The luminaire housing and head are available in a variety of standard colors
- RAL and custom color matches are available upon request
- As an option, the Eon bollards are also available in colors to match other outdoor Cooper Lighting Solutions product lines, such as Invoe
- See the Finish section in the ordering detail for more detail

Approvals

- UL and cUL listed, standard wet label
- Tested according to IESNA LM-79 and LM-80 procedures
- RoHS Compliant
- IP66 Ingress Protection rated

Compliance

- Dark Sky Approved (3000K CCT and warmer only)

Warranty

- Lumiere warrants the EON series of fixtures against defects in material and workmanship for five (5) years. Auxiliary equipment such as LED drivers carries the original manufacturer's warranty

SLIM12Y



Technical Specifications

Compliance

UL Listed:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

ADA Compliant:

SLIM™ is ADA Compliant

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Housing:

Precision die-cast aluminum housing

Mounting:

Heavy-duty mounting bracket with hinged housing for easy installation

Recommended Mounting Height:

Up to 8 ft

Lens:

Tempered glass lens

Reflector:

Specular thermoplastic

Gaskets:

High-temperature silicone

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free, RoHS-compliant components

Driver Info

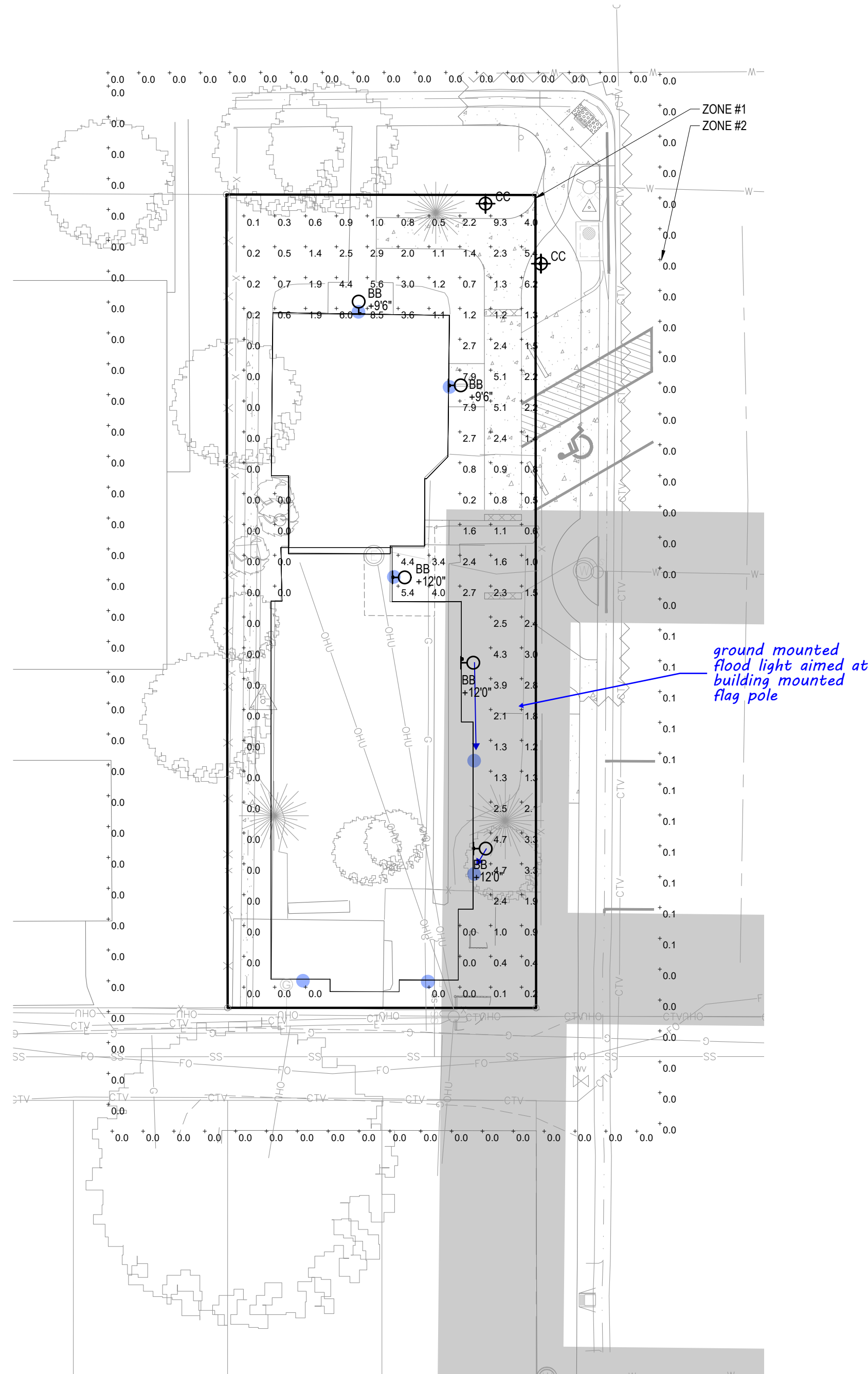
Type Constant Current
120V 0.12A
208V 0.08A
240V 0.07A
277V 0.06A
Input Watts 15.9W

LED Info

Watts 12W
Color Temp 3000K (Warm)
Color Accuracy 71 CRI
L70 Lifespan 100,000 Hours
Lumens 1,922
Efficacy 120.9 lm/W

ELECTRICAL DRAWING INDEX

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ground mounted
flood light aimed at
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flag pole

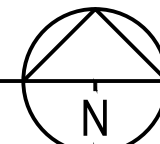
CALCULATION SUMMARY (NONRESIDENTIAL)								
ZONE	AREA DESCRIPTION	SPACING GROUP	AVERAGE	MAX	MIN	MAX/MIN	AVG/MIN	
1	PROPERTY	5X5	+	-	9.3	0	-	-
2	20' FROM PROPERTY	5X5	+	-	0.1	0	-	-

EXTERIOR LIGHT FIXTURE SCHEDULE								
FIXTURE DESIGNATION	DESCRIPTION	MANUFACTURER INFORMATION		MOUNTING	LAMP	WATTAGE	VOLTAGE	NOTES
		NAME	CATALOG NUMBER					
BB	EXTERIOR LED WALL PACK FIXTURE, BLACK FINISH, 3000K TEMP, PHOT OCCELL INCLUDED.	RAB LIGHTING	SLIM-12-Y-BLK-PC	BUILDING MOUNT	LED	12	120/277	
CC	EXTERIOR LED BOLLARD FIXTURE, BLACK FINISH, 0-10V DIMMING, 3000K TEMP, TYPE IV FORWARD THROW, 1 LIGHT BAR, 36" ABOVE GROUND, PHOT OCCELL INCLUDED	RAB LIGHTING	303-B1-LEDB1-3000-UNV-T4-DIM10-BK-36"-PC2	BOLLARD	LED	8.5	120/277	
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PHOTOMETRIC SITE PLAN - ELECTRICAL

SCALE: 1/16" = 1'0"



3749 HARRISON AVE EXPANSION
3749 HARRISON AVE, WELLINGTON, CO 80549
TOWN OF WELLINGTON

DESIGN PHASE

Issued For SD:	
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NOT FOR
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PHOTOMETRIC
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