



**TOWN OF WELLINGTON
PLANNING COMMISSION**

**June 12, 2023
6:30 PM**

Leeper Center, 3800 Wilson Avenue, Wellington CO

SPECIAL MEETING

Individuals wishing to make public comments must attend the meeting in person or may submit comments by sending an email to lundypa@wellingtoncolorado.gov. The email must be received by 3:00 p.m. Friday, June 9, 2023. After 3:00 p.m. on June 9, written public comments can not be accepted. The comments will be provided to the Commissioners at the meeting. Emailed comments will not be read during the meeting.

The Zoom information below is for online viewing and listening only.

Please click the link below to join the webinar:

<https://us06web.zoom.us/j/81644085304?pwd=QkRITDIhQ2p0aVFUS2tNZ3lJNEdvQT09>

Passcode: 498764

Webinar ID: 816 4408 5304

Or One tap mobile:

US: +17207072699,,87576162114# or +12532158782,,87576162114# Or Telephone:

US: +1 720 707 2699 or +1 253 215 8782 or +1 346 248 7799

-
1. CALL TO ORDER
 2. ROLL CALL
 3. ADDITIONS TO OR DELETIONS FROM THE AGENDA
 4. PUBLIC FORUM
 5. NEW BUSINESS
 - A. Rezone and Preliminary Plat - Replat Saddleback Subdivision
 - B. Amended Site Plan for Lot 4, Block 1, Wellington Business Center
 6. COMMUNICATIONS
 7. ADJOURNMENT

The Town of Wellington will make reasonable accommodations for access to Town services, programs, and activities and special communication arrangements. Individuals needing special accommodation may request assistance by contacting at Town Hall or at 970-568-3381 at least 24 hours in advance.



Planning Commission Meeting

Date: June 12, 2023
Submitted By: Cody Bird, Planning Director
Subject: Rezone and Preliminary Plat - Replat Saddleback Subdivision

EXECUTIVE SUMMARY

See attached staff report and supporting documentation.

BACKGROUND / DISCUSSION

STAFF RECOMMENDATION

Town staff recommends the rezone to R-3 Residential Medium Density and the preliminary plat for Saddleback Subdivision First Replat satisfies the Findings for Approval in accordance with the Land Use Code. Town staff recommends approval of the rezone and the preliminary plat.

Below are motion options for the Planning Commission to consider:

- Move to forward a recommendation to the Board of Trustees to approve the rezone to R-3 Residential Medium Density District and the Preliminary Plat for Saddleback Subdivision First Replat.
- Move to forward a recommendation to the Board of Trustees to approve the rezone to R-3 Residential Medium Density District and the Preliminary Plat for Saddleback Subdivision First Replat with conditions of approval.
- Move to forward a recommendation to the Board of Trustees to deny the rezone to R-3 Residential Medium Density District and the Preliminary Plat for Saddleback Subdivision First Replat.

ATTACHMENTS

1. Staff Report
2. Town Presentation Slides
3. Location Map
4. Landscape Rendering
5. Zoning Map
6. General Development Description
7. Preliminary Plat

Planning Commission Meeting

Meeting Date: June 12, 2023

Submitted By: Cody Bird, Planning Director

Subject:

- Saddleback Subdivision – Preliminary Plat for First Replat and Rezone R-2 to R-3

General Location:

Approximately 1/2 mile east of I-25, between Ronald Reagan Ave. and G.W. Bush Ave. (CR 60)

Applicant/Agent:

Applicant: SH Holding of Colorado, LLC – Daren Roberson

Reason for request:

- Request review for rezone of the Saddleback Subdivision from R-2 – Residential Low Density District to R-3 – Residential Medium Density District.
- Request review of a preliminary plat to replat the Saddleback Subdivision to reconfigure lots to a narrow lot width and increase the number of lots from 153 to 211.
- Reconfigure and resize development lots to achieve more efficient use of Town potable water supply for outdoor irrigation.

Background:

- The owner/developer of Saddleback Subdivision located north of GW Bush Ave. (CR 60) and east of The Meadows subdivision has submitted a request to rezone and replat the Saddleback Subdivision (excluding outlots) for single-family detached residential. A rezone request to R-3 – Residential Medium Density District is proposed to allow narrower lot widths and smaller lot size to allow reconfiguration of the existing lots. The corresponding preliminary plat is proposed to reconfigure the lots but keep the intent of the original approved development plan and keeps the single-family detached residential character of the area.
- The property was annexed into the Town in 2016 (Ord. No. 7-2016) and was concurrently zoned R-2 Residential Single-family, Medium Density.
 - The Town updated its land use code in 2022 and re-established zoning district categories, including retitling of the district that changed the R-2 zone district to Residential Low Density District.
- The plat for Saddleback Subdivision was approved in 2018 (Ord. No. 5-2018). The plat was approved for 153 single-family lots and associated open space for parks, trails and stormwater drainage. A corresponding development agreement was required and entered into by the Town and Developer.
- Development of the Saddleback Subdivision has not commenced since the initial approval in 2018.

- The development plan for Saddleback Subdivision was approved in 2018, prior to the Town's recent efforts to improve water efficiency, create infrastructure master plans, update land use development standards, and undertake major capital projects to improve the Town's water treatment plant and wastewater treatment facility. The Town has also reviewed and updated raw water dedication requirements to more accurately reflect water demand for indoor and outdoor use as compared to the unified water dedication standards in place at the time the original development was approved.
- With the new information available for water use, infrastructure needs and water dedication changes, the development as originally approved does not utilize available water resources as efficiently as possible and may not be the most financially viable for potential purchasers in today's housing market.
- The Developer has provided a general development information report (attached) that further describes the existing and proposed development conditions and the Developer's request to rezone and replat the property.
- The request to change the zoning from R-2 to R-3 is being requested to allow narrower lot dimensions and smaller lot size in accordance with the Town's updated Land Use Code. The overall density of the proposed replat for the subdivision is 3.7 dwelling units per acre and is lower than the Low Density standards of the existing R-2 zoning (6 dwelling units per acre is the max density for R-2).
- The rezone request and preliminary plat were advertised for public hearings before the Planning Commission and Board of Trustees. The applications are being considered concurrently as one development request.
- Town staff received phone calls from a couple of individuals responding to hearing notices asking questions about the proposed development application. Staff provided information about the date and time of the hearing, and the general information related to the development proposal. No written public comments have been received at the date of this report.
- The Planning Commission will need to consider any testimony presented during the public hearing.

Rezone Process and Findings for Approval:

- A. A rezone request is submitted to the Town for review in accordance with Section 2.07 of the Land Use Code.
- B. The Planning Commission reviews the application for rezone and conducts a public hearing on the request. The Planning Commission makes a recommendation on the rezone and forwards the recommendation to the Board of Trustees for consideration.
- C. In reviewing a rezone request, the Planning Commission considers the Findings for Approval, Subsection 2.07.4, below:
 - A. The rezone is consistent with the Comprehensive Plan and the intent stated in this Land Use Code;
 - B. The rezone is consistent with the stated intent of the proposed zoning district(s);
 - C. The rezone will not result in adverse impacts to the natural environment (including air, water, noise, stormwater management, wildlife, and vegetation) or such impacts will be mitigated;

- D. The rezone of the subject property will not result in material adverse impacts to the surrounding properties;
 - E. Facilities and services (roads, transportation, water, gas, electricity, police, fire protection, and sewage and waste disposal) are available to serve the subject property while maintaining adequate levels of service to existing development; and;
 - F. The rezone is consistent with any other prior approvals and official plans and policies created under the guidance of that plan for those areas (e.g., The Comprehensive Plan, specific area plans like a Downtown Corridor Study, etc.).
- D. In consideration of a rezone request, the Planning Commission makes a recommendation that is forwarded to the Board of Trustees. The Planning Commission may make one of the following recommendations:
- o Recommend approval of the rezone;
 - o Recommend approval of the rezone with conditions;
 - o Recommend denial of the rezone application.

Preliminary Plat Process and Findings for Approval:

- A preliminary plat request is submitted to Town staff for review in accordance with Section 2.17 of the Land Use Code. Town staff reviews the preliminary plat, grading and drainage, utility plans, landscape and open space plans, traffic impact studies, draft covenants and design guidelines, mineral/oil/gas rights, and soils reports.
- Town staff reviews the preliminary plat and supporting documentation and presents the preliminary plat and findings to the Planning Commission. The Planning Commission makes a recommendation to the Board of Trustees for consideration.
- In reviewing a preliminary plat, the Planning Commission considers the Findings for Approval, Subsection 2.17.4, below:
 - A. The preliminary plat represents a functional system of land use and is consistent with the rationale and criteria set forth in this Code and the Comprehensive Plan.
 - B. The land use mix within the project conforms to the Town's Zoning District Map and furthers the goals and policies of the Comprehensive Plan including:
 - 1. The proposed development promotes the Town's small town, rural character;
 - 2. Proposed residential development adds diversity to the Town's housing supply;
 - 3. Proposed commercial development will benefit the Town's economic base;
 - 4. Parks and open space are incorporated into the site design;
 - 5. The proposed project protects the Town's environmental quality; and
 - 6. The development enhances cultural, historical, educational and/or human service opportunities.
 - C. The utility design is adequate at a capacity that promotes the Town's character while strengthening the Town's vitality.
 - D. The transportation design meets the intent of the Comprehensive Plan to provide increased connectivity, reduce traffic impacts, and encourage walkability.
 - E. Negative impacts on adjacent land uses have been identified and satisfactorily mitigated.
 - F. There is a need or desirability within the community for the applicant's development and the development will help achieve a balance of land use and/or housing types within the Town, according to the Town's goals.

- E. In consideration of a preliminary plat application, the Planning Commission makes a recommendation that is forwarded to the Board of Trustees. The Planning Commission may make one of the following recommendations:
- o Recommend approval of the preliminary plat;
 - o Recommend approval of the preliminary plat with conditions;
 - o Recommend denial of the preliminary plat application.

Staff Comments (Rezone):

The Findings for Approval for a rezone request are listed below along with Staff's recommendation for each finding.

Findings for Approval (Land Use Code Subsection 2.07.4)

A. The rezone is consistent with the Comprehensive Plan and the intent stated in this Land Use Code;

- The requested rezone from R-2 Residential Low Density to R-3 Residential Medium Density is supported by the Comprehensive Plan.
- The Future Land Use Map identifies the area as Low Density Residential – (Comprehensive Plan - Pg. 81) “Neighborhoods composed predominantly of detached and attached single-family homes that are supported by neighborhood amenities and public facilities. While these areas may be more reliant on vehicles given the dispersion of housing, they should still be connected to the Town’s trail network providing safe and active means to access jobs, services, schools, and parks and connecting to the larger, regional trail system.”
- Potential uses and suggested density described in the Comprehensive Plan is single-family attached and detached homes and supporting accessory dwelling units as supporting a principal residence with a density range of up to 6 dwelling units per acre.
- The Master Street Plan map identifies G.W. Bush Ave. (CR 60) as an arterial roadway, and the development contemplates constructing improvements to this roadway to the east edge of the property.
- The general intent of the Land Use Code is identified in Section 1.01.1 Purpose and includes purpose statements A-K. The implementation of the purpose statements is evident in the specific district standards and use regulations throughout the Land Use Code.
- Staff supports the proposed R-3 zoning as being consistent with the purpose statements, district standards, lot dimensions, and other sections of the Land Use Code.
- The development plan is proposed to be consistent with the Town’s adopted Landscape and Irrigation Design Manual.

B. The rezone is consistent with the stated intent of the proposed zoning district(s);

- R-3 District Intent – “The Residential Medium Density District is intended for a mix of small lot single-family detached dwellings, single-family attached dwellings, and multi-family dwellings intended to provide a walkable environment supported by motorized and non-motorized transportation options, parks, and public gathering spaces that are ideal for people in all stages of life. Multi-family buildings are generally encouraged near viable business centers in order to facilitate appropriate densities. Street and open space designs in these areas shall be used to create

compatibility among frontages, which encourage pedestrian interaction and discourage high automobile speeds.”

- The proposed R-3 zoning for the property and the associated preliminary plat will achieve the intent stated for the R-3 District.

C. The rezone will not result in adverse impacts to the natural environment (including air, water, noise, stormwater management, wildlife, and vegetation) or such impacts will be mitigated;

- The property is currently zone R-2 Residential Low Density. The proposed change to R-3 Residential Medium Density and the associated preliminary plat to change the lot sizes will not substantially change the impacts to the natural environment from what is currently proposed.
- Single-family detached homes proposed for the property are not generally expected to have detrimental impacts to air, noise, wildlife or vegetation. The property has been vacant land for several years and was previously used for agricultural uses.
- The land has not had irrigation water available to it for several years, making it dryland agriculture that has had limited wildlife and vegetation.
- The proposed R-3 Residential Medium Density District will allow a development pattern that is the same as has already been approved, including the preservation of open space that supports stormwater conveyance and detention ponds. The associated preliminary plat also ensures the protection of open space and areas for stormwater as well as trails to allow residents access to the open space that is proposed to be native vegetation.
- The proposed change to R-3 zoning and the associated replat of the property will enable smaller lot sizes that increase the amount of area of native vegetation, reduce the amount of irrigable lawn spaces, and will result in an overall reduction of water demand for outdoor irrigation for the property. The reduction to the outdoor irrigation demand for treated water will be a net benefit to the Town's water infrastructure systems as well as a benefit to the owners of properties for water expenses.

D. The rezone of the subject property will not result in material adverse impacts to the surrounding properties;

- The existing R-2 zoning and R-3 zoning both support single-family residences. The preliminary plat proposed in conjunction with this rezone request has the same layout as the approved plat and will ensure the density of development does not increase beyond what is approved for a subdivision plat.
- R-3 zoning allows up to 12 dwelling units per acre, however the proposed development plan results in approximately 3.7 dwelling units per acre, less than the maximum allowed under the existing R-2 zoning. The proposed single-family development density is compatible with adjacent subdivisions.
- The increased impact on utility infrastructure and transportation infrastructure will be mitigated through design and construction of public infrastructure to support the development.

E. Facilities and services (roads, transportation, water, gas, electricity, police, fire protection, and sewage and waste disposal) are available to serve the subject property while maintaining adequate levels of service to existing development;

- Adequate public services are available to serve the site or will be designed and constructed to support the site.

- Roads, water lines, and sanitary sewer improvements are required to connect the development to existing public services. The existing development requires the developer to construct on-site and off-site improvements to satisfy the infrastructure needs.
- The increased residential density that would result from a change from R-2 zoning to R-3 zoning is not expected to result in public service demand that cannot be provided with existing available resources.
- The Town is currently in the process of constructing capital improvements and expansion of the Town's Water Treatment Plant and Wastewater Treatment Facility. The projects are expected to be complete and operational by fall of 2024. The timeline for development for this property would not be expected to be ready for building permits until summer of 2024, and therefore, the increased demand on the Town's facilities will be available by the time the water and wastewater demand from this development is placed on the Town's infrastructure.

F. The rezone is consistent with any other prior approvals and official plans and policies created under the guidance of that plan for those areas (e.g., The Comprehensive Plan, specific area plans like a Downtown Corridor Study, etc.).

- The rezone request to R-3 is consistent with the prior approval for single-family residential development on the property.
- The rezone request to R-3 is consistent with the pattern and scale of development of surrounding development approvals.
- The R-3 zoning district can be utilized to support higher density developments including multifamily developments up to 12 dwelling units per acre when located along appropriate business corridors and business centers.
- The multi-family scale density of the R-3 zoning district is not supported by the property location. The preliminary plat proposed in conjunction with this rezone request is specifically intended and designed for single-family residential and can be supported.
- The rezone request and replat request are integrally tied for this development proposal and should be viewed as a single development request.

Staff Comments (Preliminary Plat):

The Findings for Approval for a preliminary plat are listed below along with Staff's recommendation for each finding.

Findings for Approval (Land Use Code Subsection 2.17.4)

A. The preliminary plat represents a functional system of land use and is consistent with the rationale and criteria set forth in this Code and the Comprehensive Plan.

- The proposed preliminary plat is designed with the same general layout as the existing approved development.
- The street layout, utility extensions and stormwater drainage are consistent with the Town's Street Master Plan and infrastructure master plans.
- The proposed preliminary plat connects streets and sidewalks and trails to other adjacent transportation corridors and trail systems.
- The residential lot layout is compatible in form and character to the adjacent surrounding neighborhoods and is compatible with the scale and massing of the district.

B. The land use mix within the project conforms to the Town's Zoning District Map and furthers the goals and policies of the Comprehensive Plan including:

1. The proposed development promotes the Town's small town, rural character;

- Lot size and layout is consistent with the rural suburban character of the Town.
- Single-family detached dwellings have long been the typical development pattern of small-town residential developments.

2. Proposed residential development adds diversity to the Town's housing supply;

- Average lot sizes proposed in the replat of this development will be more closely aligned with similar lot sizes in other residential developments.
- The large lot pattern of the existing plat offers a scale of development with more diversity, but which is not cost effective in the marketplace or affordable for residents.
- Larger lots as approved on the existing plat do not necessarily result in larger or different homes.

3. Proposed commercial development will benefit the Town's economic base;

- Commercial development is not proposed with this development and would not be well supported due to the lack of proximity to other commercial centers and limited access to major roadways.

4. Parks and open space are incorporated into the site design;

- The proposed preliminary plat honors the original layout and intent of the existing approved plat. The open spaces include buffer areas around the development and provide opportunities for stormwater facilities and recreational spaces.
- A trail system is proposed to connect through the development and connect into adjacent trails and sidewalks to provide loops for recreation and leisure.
- The prior plat included a pocket park that was isolated behind backyards along the east property line. The new preliminary plat proposes a more central and integrated pocket park for residents of the neighborhood. The new location is more visible and accessible, improving access for residents and improving safety by not isolating the park behind backyards and fences.
- The pocket park is proposed to be privately owned and maintained.
- The Town's Parks, Recreation, Open Space and Trails (PROST) Board is scheduled to make recommendations on the parks and trails component for this development as well.

5. The proposed project protects the Town's environmental quality; and

- The open space proposed will convey historic stormwater flows as well as improve existing stormwater conveyance that is currently restricted.
- The open spaces will utilize native vegetation to enhance the natural look and feel of the areas. Additional trees and shrubs will be installed to restore more natural habitat and improve aesthetics as compared to the existing dryland agriculture use of the site.

6. The development enhances cultural, historical, educational and/or human service opportunities.

- There are no known cultural or historical elements associated with the existing project site. The trail connections will support the culture of the community for enhancing outdoor recreation and fitness.

C. The utility design is adequate at a capacity that promotes the Town's character while strengthening the Town's vitality.

- Water, sanitary sewer and stormwater infrastructure design plans have been previously approved that satisfy this criterion. The public improvement plans are currently being re-evaluated to ensure the original design still satisfies all applicable engineering design standards.
- There are public infrastructure improvements that this development is responsible for constructing that will connect gaps, create loops for redundancy, and include oversizing pipelines to support future development to the north. The construction of loops and oversizing for future developments strengthens the Town's vitality by partnering with developers to install needed infrastructure in a more efficient manner and to share the costs responsibly.

D. The transportation design meets the intent of the Comprehensive Plan to provide increased connectivity, reduce traffic impacts, and encourage walkability.

- The proposed street layout meets applicable standards for connectivity and functional classifications for roadway design (local residential roads, collector road for Ronald Reagan Ave. and arterial road for GW Bush Ave.).
- The developer provided an updated Traffic Impact Study (TIS) to evaluate the proposed increase in number of lots. The TIS identifies an expected increase in average daily trips from 1,476 to 2,006 daily vehicle trips. The increase is reasonable based on the proposed changes and the increase does not result in any changes to roadway classification or design to accommodate the increase.
- Trails and sidewalks are proposed to connect within the development for bicycle and pedestrian transportation paths. Trails and sidewalks connect to adjacent developments and provide connections to existing Town parks that will encourage walkability to other recreational opportunities.

E. Negative impacts on adjacent land uses have been identified and satisfactorily mitigated.

- Negative impacts to adjacent land uses are not anticipated as a result of the replat. The single-family residential character of the development is compatible with adjacent land uses and the original approval.
- The increased traffic mentioned above is not anticipated to result in traffic patterns or volume that will be detrimental to existing residential developments.

F. There is a need or desirability within the community for the applicant's development and the development will help achieve a balance of land use and/or housing types within the Town, according to the Town's goals.

- The Town has identified a goal of "Purposeful Growth" in the Comprehensive Plan and the Board of Trustee's Strategic Plan reflects a similar goal of "responsible growth and sound financial practices."
- The timing of this development construction and permit issuance will not put a strain on the Town's water treatment plant or wastewater treatment facility because both projects are on schedule to be complete and operational by the time permits are issued for this project.
- Impact fee revenue and building material use tax collected from new developments fund the Town's critical infrastructure projects and operations. Increasing the number of lots in this development will result in a corresponding increase in the impact fee and use tax revenues.

- The smaller lot sizes proposed will result in a more efficient use of water resources by reducing the outdoor irrigation demand for Town-treated water.
- The reduction in irrigation demand will also help make housing prices in this subdivision more affordable by reducing the amount of raw water that would be needed for irrigation (costs recovered in each home sale) and the ongoing water rate costs to residents to irrigate large lawns.

Recommendation:

Town Engineering Division staff have identified redline comments on the preliminary plat, floodplain boundary, drainage report and utility design. The applicant will need to address the engineering comments in their revised plans and final plat. Depending on the methods for addressing the comments, especially the floodplain comments, some variations to the lot layout on the plat could be expected. The lot layout changes would be more likely to result in fewer lots than more lots, and staff would suggest those changes would be reasonably acceptable to consider at the time of final plat.

Based upon the above findings and the staff report comments, Town staff recommends the rezone and preliminary plat satisfies the Findings for Approval in accordance with the Land Use Code. Town staff recommends approval of the rezone and the preliminary plat.

Below are motion options for the Planning Commission to consider:

- Move to forward a recommendation to the Board of Trustees to approve the rezone to R-3 Residential Medium Density District and the Preliminary Plat for Saddleback Subdivision First Replat.
- Move to forward a recommendation to the Board of Trustees to approve the rezone to R-3 Residential Medium Density District and the Preliminary Plat for Saddleback Subdivision First Replat with conditions of approval.
- Move to forward a recommendation to the Board of Trustees to deny the rezone to R-3 Residential Medium Density District and the Preliminary Plat for Saddleback Subdivision First Replat.

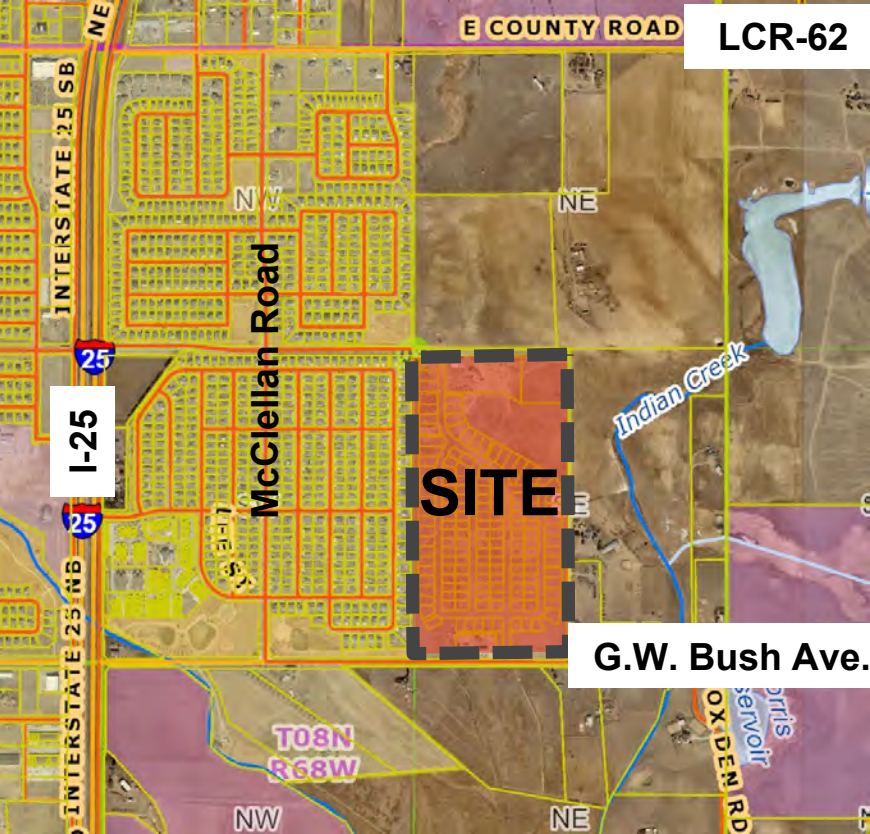
Saddleback Rezone and Preliminary Plat:

1/2 mile East of I-25
Between Ronald Reagan Ave. and G.W. Bush Ave.

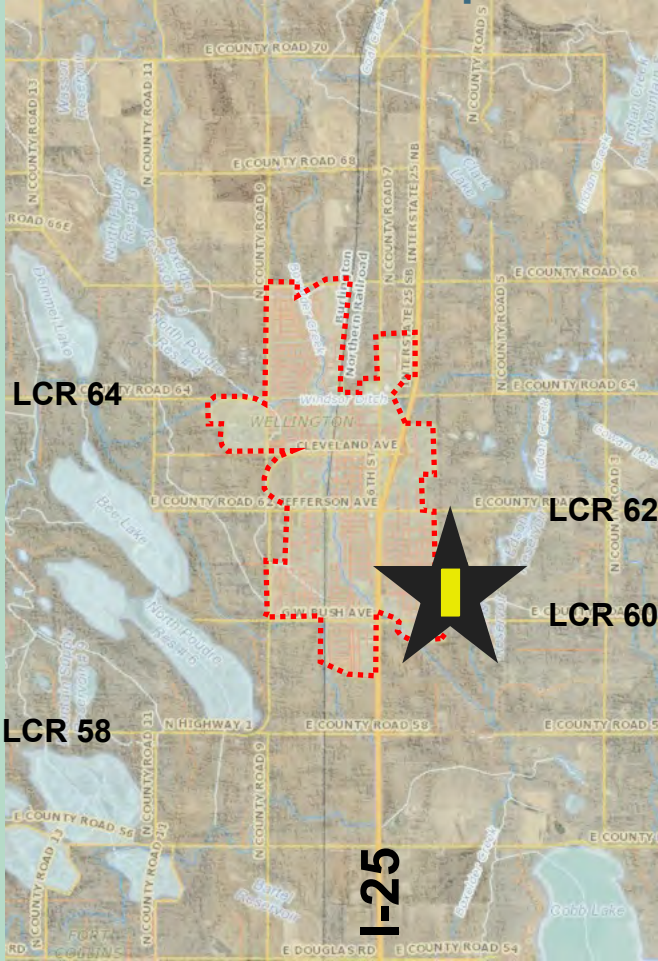
Applicant:
SH Holding of Colorado, LLC
Daren Roberson



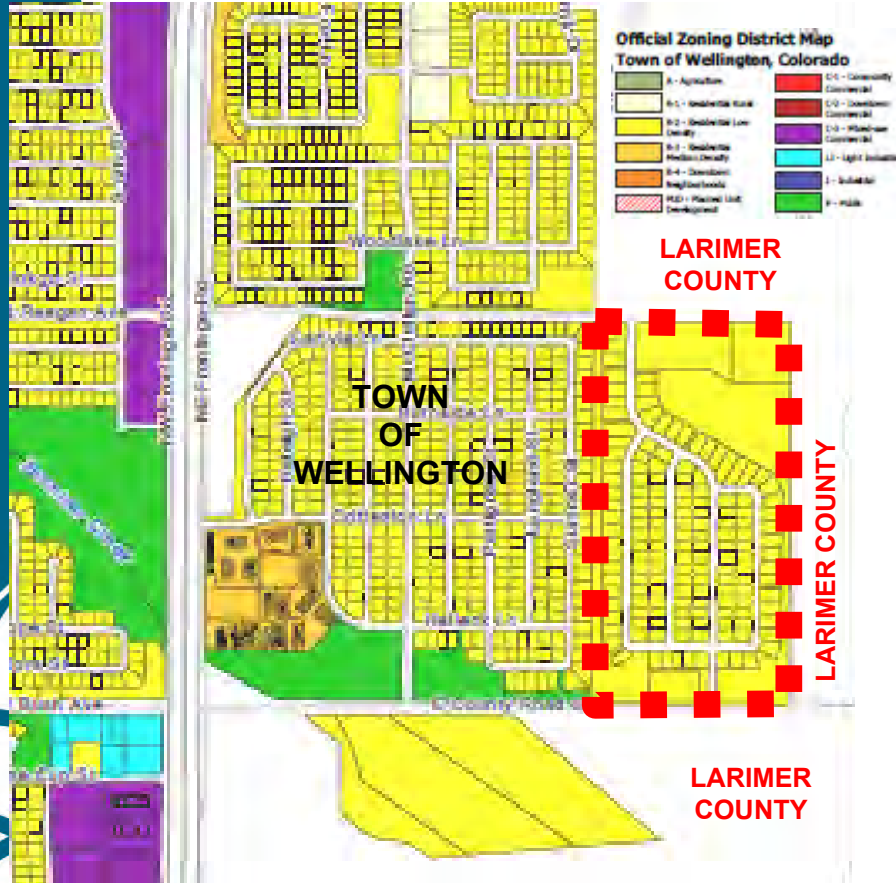
THE REQUEST:
Approval for a Rezone and
Preliminary Plat:



Location Map



THE ZONING:

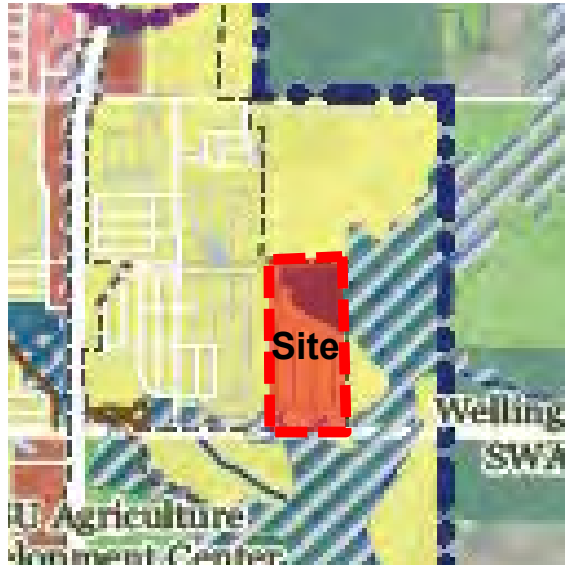


- ✓ Existing zoning is R-2 Residential Low Density
- ✓ Proposed zoning is R-3 Residential Medium Density
- ✓ A replat of the subdivision is proposed concurrent with the rezone request.
- ✓ The rezone and replat should be considered as a single development proposal.
- ✓ Together, the rezone and replat would achieve a density of 3.72 dwelling units per acres, less than the 6 dwelling units per acres allowed under the existing R-2 zoning.

PROJECT INFORMATION

- ✓ **The applicant proposes concurrent rezone and preliminary plat for the existing Saddleback Subdivision.**
- ✓ **The Saddleback Subdivision is an existing Single-family detached residential development.**
- ✓ **The Site is zoned R-2 Residential Low Density – The applicant proposes rezoning the property to R-3 Residential Medium Density District to achieve smaller lot sizes and narrower lot widths to accommodate an additional 58 lots.**
- ✓ **The proposed project density is 3.72 dwelling units per acre that is consistent with the Comprehensive Plan recommendations for Residential Low Density areas identified on the Future Land Use Map.**
- ✓ **The open spaces will remain low-water native plant materials to conserve Town water resources.**

COMPREHENSIVE PLAN:



LOW DENSITY RESIDENTIAL

Desired Intent & Character

Neighborhoods composed predominantly of detached and attached single family homes that are supported by neighborhood amenities and public facilities.

While these areas may be more reliant on vehicles given the dispersion of housing, they should still be connected to the Town's trail network providing safe and active means to access jobs, services, schools, and parks, and connecting to the larger, regional trail system.

Potential Uses: Single-family attached and detached homes. A supporting use to the principal residence may include Accessory Dwelling Units (ADUs).

Other uses include places of worship, schools, parks, recreation, open spaces, and civic uses.

Suggested Net Density Range: Up to 6 DU/Acre

Suggested Intensity Range: N/A

FUTURE LAND USE MAP

- Gateway
- Proposed Regional Park
- Existing Trails
- Proposed Trails
- Future Roads
- Canal
- Streams
- Activity Center
- Boxelder Sanitation District
- 100-Year Floodplain
- Town Boundary
- Growth Management Area

Future Land Use Categories

- Parks and Open Space
- Agriculture
- Low Density Residential
- Medium Density Residential
- Downtown Neighborhoods
- Downtown Core
- Commercial
- Mixed Use
- Industrial/Light Industrial
- Civic

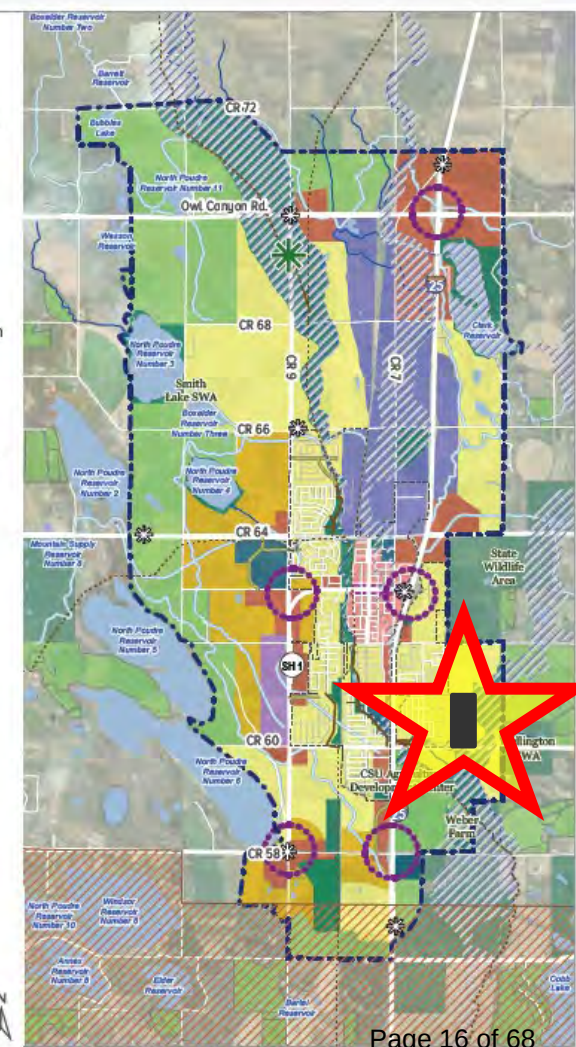
Conserved Lands

- Private Conservation
- State Owned Conservation

6/17/2021

0 0.5 1 Miles

(Source: Logan Simpson, 2021)



REZONE:

2.07.4 Findings for Approval.

- A. The rezone is consistent with the Comprehensive Plan and the intent stated in this Land Use Code;**
- B. The rezone is consistent with the stated intent of the proposed zoning district(s);**
- C. The rezone will not result in adverse impacts to the natural environment (including air, water, noise, stormwater management, wildlife, and vegetation) or such impacts will be mitigated;**
- D. The rezone of the subject property will not result in material adverse impacts to the surrounding properties;**
- E. Facilities and services (roads, transportation, water, gas, electricity, police, fire protection, and sewage and waste disposal) are available to serve the subject property while maintaining adequate levels of service to existing development; and**
- F. The rezone is consistent with any other prior approvals and official plans and policies created under the guidance of that plan for those areas (e.g., The Comprehensive Plan, specific area plans like a Downtown Corridor Study, etc.).**

PRELIMINARY PLAT:

2.17.4 Findings for Approval.

- A. The preliminary plat represents a functional system of land use and is consistent with the rationale and criteria set forth in this Code and the Comprehensive Plan.**
- B. The land use mix within the project conforms to the Town's Zoning District Map and furthers the goals and policies of the Comprehensive Plan including:**
 - 1. The proposed development promotes the Town's small town, rural character;**
 - 2. Proposed residential development adds diversity to the Town's housing supply;**
 - 3. Proposed commercial development will benefit the Town's economic base;**
 - 4. Parks and open space are incorporated into the site design;**
 - 5. The proposed project protects the Town's environmental quality; and**
 - 6. The development enhances cultural, historical, educational and/or human service opportunities.**
- C. The utility design is adequate at a capacity that promotes the Town's character while strengthening the Town's vitality.**
- D. The transportation design meets the intent of the Comprehensive Plan to provide increased connectivity, reduce traffic impacts, and encourage walkability.**
- E. Negative impacts on adjacent land uses have been identified and satisfactorily mitigated.**
- F. There is a need or desirability within the community for the applicant's development and the development will help achieve a balance of land use and/or housing types within the Town, according to the Town's goals.**

STAFF ASSESSMENT:

- The property is currently zoned R-2 Residential Low Density and single family residential is already a permitted land use.
- The existing plat allows for 153 single-family lots - average size 11,340 SF.
- The proposal to rezone to R-3 Residential Medium Density with the associated preliminary plat would allow 58 additional lots with an average lot size of 6,516.905 SF.
- The reduction in lot size will allow more area to be dedicated for open space and utilize native vegetation that requires less irrigation water.
- The reduced lot size will allow for a more efficient use of the Town's water resources.
- The Town's Rezone procedures, Section 2.07 have been followed.
- The Town's Preliminary Plat process, Section 2.17 has been followed.
- The Applicant is addressing Town staff comments to update utility plans in accordance with Town Engineering Standards.
- Some changes are expected on the Final Plat to address staff review comments.

SUMMARY & STAFF RECOMMENDATIONS:

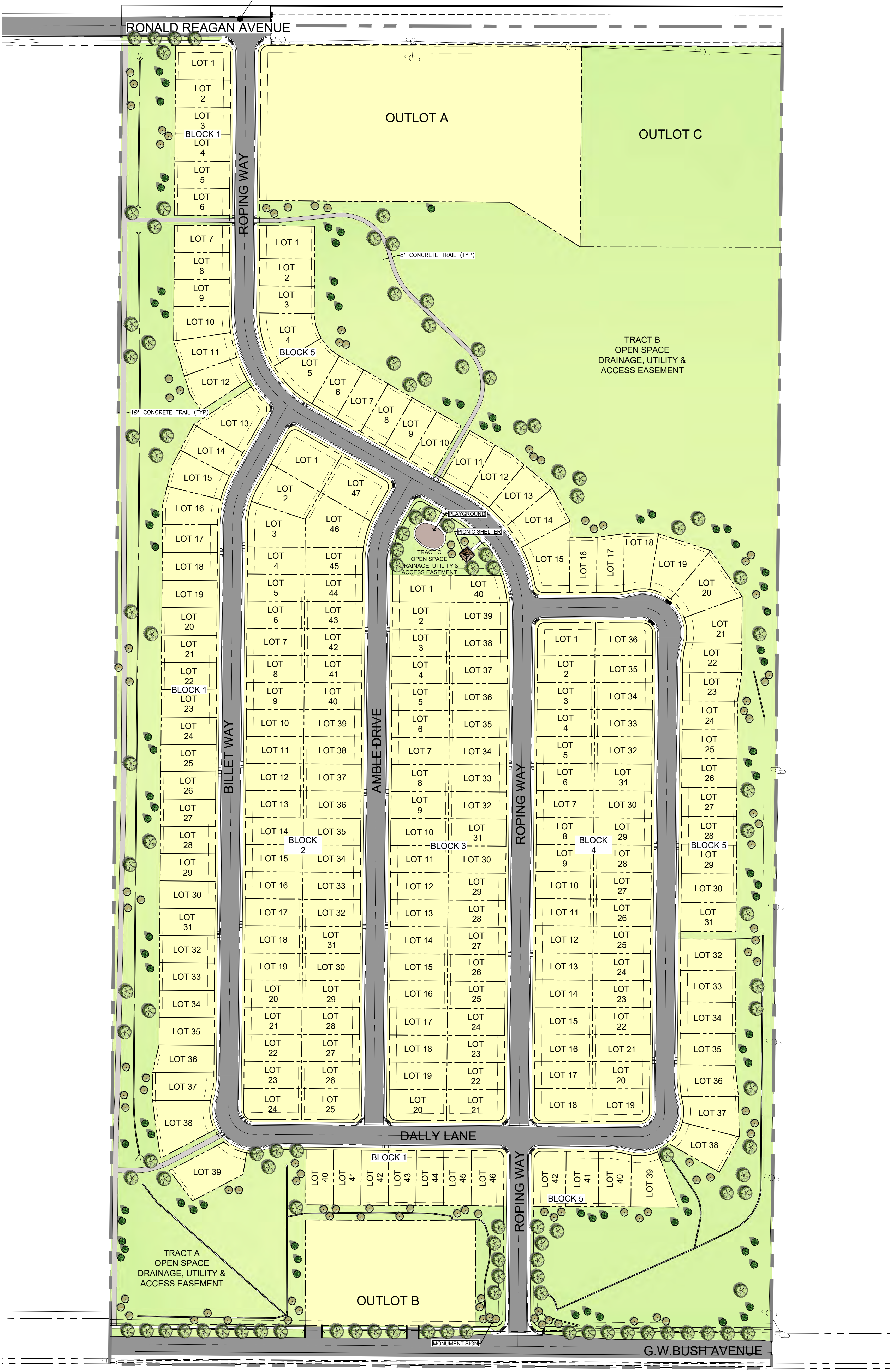
- The Findings for Approval for both the rezone and the preliminary plat are satisfied.
- Town Staff recommends approval of the rezone to R-3 Residential Medium Density.
- The R-3 zoning is in conjunction with and supported by the proposed Preliminary Plat. The rezone and plat should be considered one development proposal.
- Town Staff recommends approval of the preliminary plat and allow the applicant to proceed to final plat.
- The applicant needs to make adjustments to the plat and drainage and utility plans to address staff comments.
- Changes are expected on the final plat to address the staff comments.
- The Planning Commission's recommendation will be forwarded to the Board of Trustees for consideration.

Saddleback Subdivision



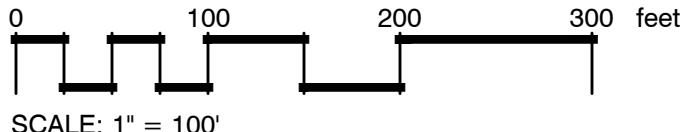
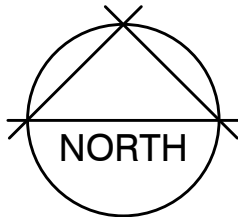
Saddleback Subdivision

Wellington, Colorado



LEGEND

- CANOPY TREES
- ORNAMENTAL TREES
- EVERGREEN TREES
- OPEN SPACE LANDSCAPE
- PRIVATE LOT





Official Zoning District Map
Town of Wellington, Colorado

- A - Agriculture

R-1 - Residential Rural

R-2 - Residential Low Density

R-3 - Residential Medium Density

R-4 - Downtown Neighborhoods

PUD - Planned Unit Development
- C-1 - Community Commercial

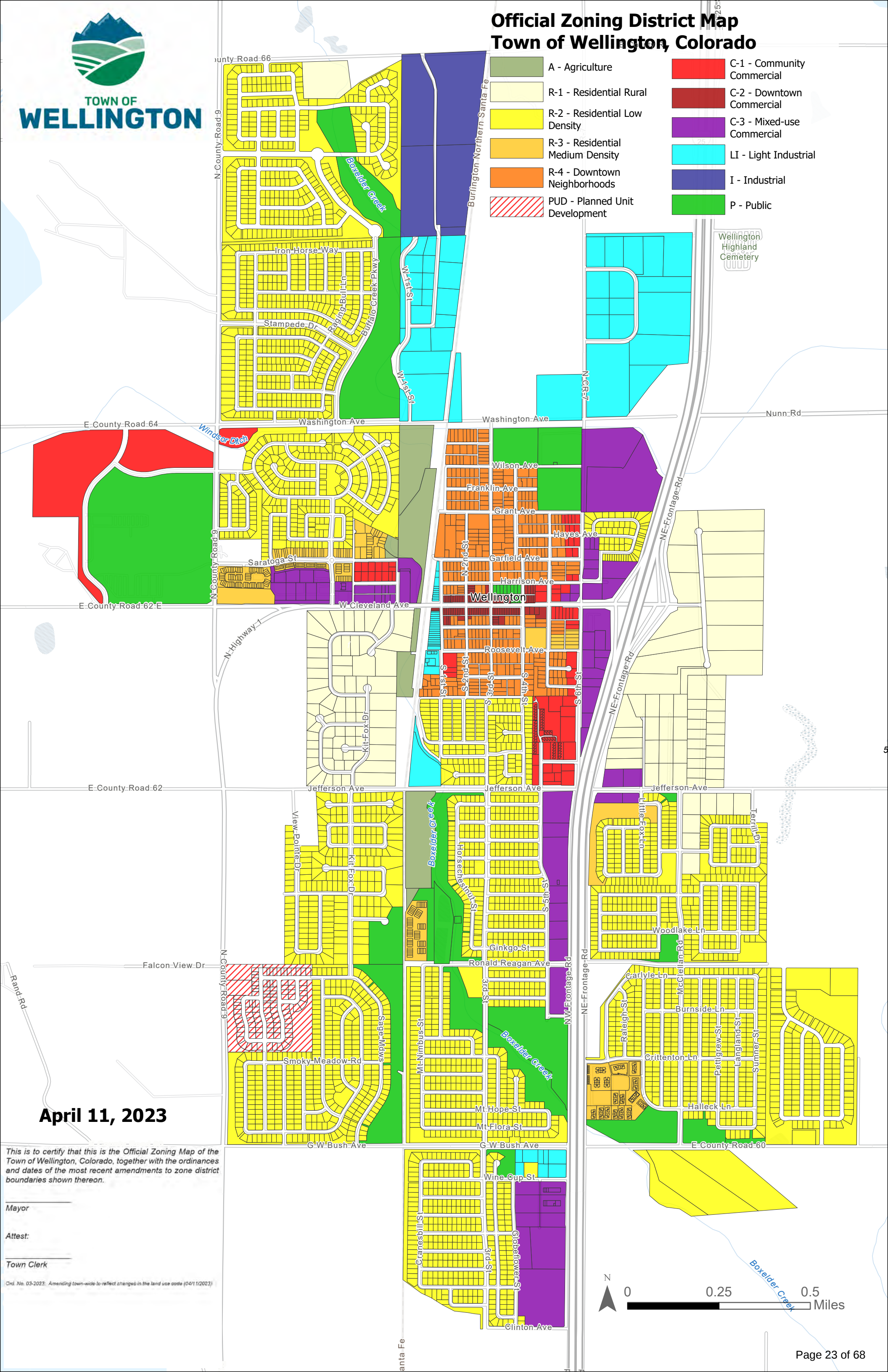
C-2 - Downtown Commercial

C-3 - Mixed-use Commercial

LI - Light Industrial

I - Industrial

P - Public



April 11, 2023

This is to certify that this is the Official Zoning Map of the Town of Wellington, Colorado, together with the ordinances and dates of the most recent amendments to zone district boundaries shown thereon.

Mayor

Attest:

Town Clerk

Ord. No. 03-2023: Amending town-wide to reflect changes in the land use code (04/11/2023)



**Town of Wellington,
County of Larimer, Colorado**

General Development Information

Saddleback Subdivision First Replat Preliminary Plat and Rezoning

May 1, 2023

Saddleback Subdivision First Replat and Rezoning

In 2018 the Board of Trustees approved the Saddleback subdivision plat allowing 153 single family lots that ranged in size from 8,500 square feet to over 18,500 square feet and approximately 20.5 acres of open space. The property does not have a nonpotable water source for irrigation, so all required landscape irrigation was planned to be from Wellington's treated water system.

It is the request of the applicant/developer, SH Holding of Colorado, LLC to rezone and replat the property known as the **Saddleback Subdivision** from the existing 153 single family lots under the Town of Wellington's R-2 Residential Low Density District to the R-3 Residential Medium Density District to reconfigure lots to allow 211 single family lots and also to reduce the size of the existing platted lots as a way to reduce the outdoor demand for treated water. Also, while the Town of Wellington has worked through design and construction of major improvements to its water treatment plant and wastewater reclamation facility, it was understandable that the Town had to limit the number of residential building permits to stay within the treatment capacity of the plants during years leading up to the completion of those projects. During that time the developer actively worked with the Town to manage the number of residential building permits being issued including postponing development of this property. Since the time this project was originally approved there have been considerable changes in the housing market and the price of materials. The Town has also updated its Land Use Code and created new standards for best practices for Landscape and Irrigation Design. The rezone and replat would allow changes in the development plans to reflect the changes in the housing market, reduce the demand for outdoor irrigation water, address updated Town standards, and reflect the current material costs while spreading shared costs across more lots to keep housing prices competitive.

The site is approximately 57 acres in size and is located about 1.5 miles east of Interstate 25 on the east side of the existing Meadows neighborhood and the north side of CR 60 (GW Bush Ave.) The site is located in the West ½ Southeast Quarter (SE ¼) of Section Three (3), Township Eight North (T.8.N.), Range 68 West (R.68.W.), of the 6th Principal Meridian (6th P.M.) Larimer County, Colorado. It is bounded to the north, east and south by undeveloped farmland zoned O-Open District in unincorporated Larimer County; and to the west by The Meadows Subdivision of single family residential homes in the Town of Wellington zoned R-2 Residential Low Density.

Property Owners/Applicant/Consultants

Property Owner/Applicant/ Developer

SH Holding of Colorado, LLC

c/o Mr. Daren Roberson
395 Delozier Drive, Suite 110
Fort Collins, CO 80524
(970) 224-3103
daren@sagehomes.com

Planning Consultant

PineCrest Planning and Design LLC

Mr. Tom Dugan
4225 Westshore Way
Fort Collins, Colorado 80525

Civil Engineer

Northern Engineering Services, Inc.

Mr. Shane Ritchie
301 N. Howes Street, Suite 100
Fort Collins, CO 80521

(970) 566-4714
tompinecrest@qwest.net

Surveyor
Northern Engineering Services, Inc.
Mr. Aaron Lund
301 N. Howes Street, Suite 100
Fort Collins, CO 8052
(970) 488-1115
aaronl@northernengineering.com

(970)573-6417
shane@northernengineering.com

Landscape Architect
Centennial Design LLC
Mr. John Gettman
601 S. 9th Street
Berthoud, CO 80513
(970) 567-1912
centennialdesign@hotmail.com

Legal Description

Please see the Property Description, attached as Exhibit “A”.

Existing and Proposed Infrastructure

The majority of the Town's current infrastructures (i.e. water and sewer lines) are located within the existing Town limits in the Meadows neighborhood to the east.

It is proposed that the developer would extend all required utilities per the Town Code to the property as required. All roads and streets within the property would again be extended and constructed per the Town's Subdivision Regulations. Improvements to Larimer County Road 60 (GW Bush Ave.) would include widening the north side, the addition of curb and gutter along the north side of CR 60 with improvements to the south side to be completed in the future if and when the property to the south develops. The right of way dedication and cost for the south side improvements Larimer County Road 60 shall be by the developer/landowner to the south as that property develops. Ronald Reagan Blvd. would be extended east and be improved to the north entrance to the property at Roping Way.

Zoning

Existing Zoning - R-2 Residential Low Density District at the Town maximum density of 6 units per acre.

Proposed Zoning – R-3 Residential Medium Density District with a maximum density of 12 units per acre.

Justification for Rezoning

In order to replat the existing large lots (R-2 zoning) into smaller lots (R-3 zoning) a change in the zoning for the property is required. The current R-2 Residential zoning requires lots to be a minimum of 60’ wide and a minimum of 6,600 square feet in size. By rezoning the property to the R-3 Residential Medium Density District, the required minimum lot width is reduced to 50’ and the minimum lot size is reduced to 3,000 square feet. Within the proposed replat, no lot would be smaller than 5,900 square feet and there is an additional 4.5 acres of open space. The rezone would allow changes in the development plans to reflect the changes in the housing market, reduce the demand for outdoor irrigation water, address updated Town standards, and reflect the current material costs while spreading infrastructure and shared costs across more lots to keep housing prices competitive.

Although this rezoning would increase the total number of lots in the replat by 58, it would also decrease the total potable outside irrigation water demand by over 50% excluding and irrigation water demand reduction in the backyards. Currently, the total acre feet required for 153 lots is 39.8 AF. We will show a reduction and savings of over 20 acre feet of Town treated water for outside irrigation. The property will also have recorded private covenants that require all builders to install front yard landscaping in accordance with current Town of Wellington Landscape and Irrigation Design Standards. Builders will be required to install the front yard landscaping in accordance with the covenants to achieve the reduced outdoor irrigation water demand. Builders will also promote xeriscaping principles for back yard landscaping. This reduction in potable water use follows several of the Goals and Strategies of the Comprehensive Plan including:

- CP. 2.3. encourage new housing developments to include water-wise material and practices while insuring homes are both affordable and cost comparable
- TE. 2.1 update development impact fees (ie: raw water costs and/or dedications) that align with community needs and regional best practices to enhance amenities and appropriately cover infrastructure costs
- F&P. 1.2 ensure the expansion and upgrades of utilities, infrastructure, and amenities are consistent with Town Plans (e.g. water efficiency)

Existing Conditions and Proposed Development

The property is currently vacant and being used for dryland farming and agricultural uses. The site slopes to the east and south with the lowest point along the southern portion of the property.

The proposed Land Uses include detached single family residential homes of various sizes as well as public and private parks and open space. A total of 211 single-family units are proposed on approximately 57 acres for a maximum gross density of 3.72 units/acre. Also proposed is approximately 25 acres of land to be used for park land and open space. A small pocket park is also proposed and this will be owned and maintained by the Homeowners Association.

Financing of Municipal Service Expansion

The Town of Wellington will require that the Developer bear the cost of any required expansions to the Town's utilities and roads. The developer has entered into a cost sharing (reimbursement) agreement with the Town that allows the Developer to be reimbursed for certain identified improvements that benefit other properties that will connect into the improvements in the future. Additional costs for portions of the extensions of Ronald Reagan Ave. and GW Bush Ave. are part of the existing Development Agreement for the original Saddleback Subdivision. The developer desires to renegotiate with the Town on these reimbursements as part of the final platting process and updated development agreement.

The Developer will most likely finance any required improvements and expansions through private funds and construction loans secured by the property.

Natural and Man-Made Site Features

The site is approximately 57 acres in size and is located about 1.5 miles east of Interstate 25 on the east side of the existing Meadows neighborhood and the north side of CR 60 (GW Bush Ave.) The site is located in the West ½ Southeast Quarter (SE ¼) of Section Three (3), Township Eight North (T.8.N.), Range 68 West (R.68.W.), of the 6th Principal Meridian (6th P.M.) Larimer County, Colorado. It is bounded to the north, east and south by undeveloped farmland zoned O-

Open District in unincorporated Larimer County; and to the west by The Meadows Subdivision, an existing and built-out development of single family residential homes in the Town of Wellington zoned R-2 Residential Low Density.

Proposed Land Use Summary

<u>Land Use</u>	<u>Acreage</u>	<u>Gross Density</u>	<u>Maximum Number of Units</u>
Single Family Residential (5,900 sf lots min.)	31.57 acres	3.72 du/ac.	211 units
<u>Open Space/Parks</u>	<u>25.16 acres</u>	<u>N/A</u>	<u>N/A</u>
TOTAL	56.73 acres	3.72 du/ac.	211 units

Public Use Dedication

The proposed development is required to dedicate 20% of the total land area to be platted for parks and/or open space as per the Town's Land Use Code for a total required land dedication of approximately 11.35 acres. The Developer is proposing to dedicate 25.16 acres of land as park land and/or open space (approximately 44%). This open space will be owned and maintained by a Homeowners Association.

Vehicular, Bike, and Pedestrian Circulation

Vehicular access to the site shall be from GW Bush Avenue (CR 60) on the south and Ronald Reagan Ave. to the northwest. Internal circulation shall be by public roads within the subdivision. All roads shall be dedicated to the Town of Wellington. Bike and pedestrian circulation shall use the public roads/sidewalks throughout the project. An off-street sidewalk connection through the open space will further promote pedestrian and bicycle connectivity through the neighborhood.

Development Phasing and Schedule

It is anticipated that the project will be developed in one or two phases and that construction is expected to begin in the winter of 2023-2024. Projected build out is 4-6 years.

Wellington Comprehensive Plan and Land Use Code

The Town of Wellington has adopted a Comprehensive Plan and the Wellington Land Use Code of which both describe and require future development within the Town to meet standards that will provide the same level of service to new areas as it is currently providing within the existing town. These documents, we believe, allow the Town to achieve controlled, orderly and efficient growth. To accomplish orderly, controlled growth, Wellington will rely on the Town's Land Use Code and Comprehensive Plan to provide the basic guidelines for development and construction of new areas around the Town.

Statement of Conformance with the Wellington Comprehensive Master Plan

The Town of Wellington has recently updated the Town's Comprehensive Plan (2021) and the Community Vision Statement states "Our friendly and supportive community welcomes you with a smile. Together, we take pride in celebrating and protecting our town character and values while welcoming productive ideas that enhance our quality of life. Our dreams take root and blossom in Wellington."

The citizens of Wellington choose to deal with the issue of growth proactively in order to maintain the quality of life in the community. Over the past fifteen years, the Town has witnessed a significant amount of residential growth. Wellington residents want to continue to investigate the development of innovative land uses that provide a sound tax base, preserve the quality of life, and balance residential and commercial development. Citizens want to ensure that new development does not overburden existing infrastructure and services and does not detract from the community's existing character."

In following the Town's Community Vision and Themes outlined in the Comprehensive Plan, the proposed development ensures the logical extension of the Town boundaries in a fiscally sound manner providing predictability in the rate, location and character of the growth within the Town's Growth Management Area while not creating a net negative fiscal burden on the Town.

The applicant believes that the proposed Rezoning and Preliminary Replat meet the intent of the Town's Comprehensive Plans Goals and Strategies. By allowing the rezoning and preliminary plat to proceed as proposed, the applicant has met the following goals and themes as stated in the 2021 Comprehensive Plan.

Community Cohesion (CC) Goals & Strategies

CP.2.3 Identify incentives to encourage new housing developments and retrofits to include energy-efficient and water-wise materials and practices while ensuring homes are both affordable and cost comparable.

CP.2.5 Ensure adequate park, trail, and open spaces are added to land use mix as the population grows.

Reliable & Resilient Public Services Facilities & Programs (F & P) Goals and Strategies

F&P.1.2 Ensure the expansion and upgrades of utilities, infrastructure and amenities are consistent with Town Plans (e.g. Water Efficiency, Stormwater Management, Emergency Preparedness, Infrastructure Plan, and the Comprehensive Plan)

F&P.2.2 Require new utilities and existing overhead utilities to be underground for major development projects.

F&P.2.3 Require new development to demonstrate how they will connect to and improve the existing networks for active transportation, vehicular traffic, open space and parks and essential infrastructure for water, wastewater, and stormwater.

Statement of Conformance with the Wellington Land Use Code

It is the intent of the proposed Saddleback Subdivision Preliminary First Replat and Rezoning to comply with the Town's Land Use Code as it was revised and adopted in 2022. The applicant believes that the project as proposed is in compliance with the general intent of the Zoning and Subdivision Regulations of the Land Use Code including:

ZONING

3.01 Purpose and Organization

3.01.1 Purpose.

- A. Encourage the most appropriate use of land throughout the Town and ensure logical growth of the various physical elements of the Town,
- B. Regulate the size of building lots, yards and other open spaces.

- D. Prevent the overcrowding of land, poor quality in development, waste and inefficiency in land use, danger and congestion in travel and transportation and any other use or development that might be detrimental to the stability and livability of the Town.
- 3.01.2 Uniformity of regulations.
 - B. No building or other structure shall be erected or altered to:
 - 1. Exceed the height limitations
 - 2. Occupy a greater percentage of the area; or
 - 3. Have narrower or smaller rear yards, front yards, side yards or other open spaces
- 3.02.4 Residential Medium Density
 - A. Intent. The Residential Medium Density District is intended for a mix of small lot single-family detached dwellings.
- 3.02.07 Table of Dimensional Standards for Residential Zones
- 4.01 Purpose and Organization**
- 4.02-1 Table of Allowable Uses (for the R-3 Zoning District)
- 5.01 Purpose and Organization**
- 5.01.1 Purpose. This article establishes uniform standards for the development and improvement of property throughout the Town of Wellington to ensure quality development that is consistent with the Town's Comprehensive Plan.
- 5.04 Landscaping and Screening**
- 5.04.8 Park and Open Space Landscape Standards
 - A. Purpose and intent: Landscaping in park and open space areas that are commonly used by the public for passive and active recreation shall be appropriate to the use and function of the area, respectful of water conservation practices, and include trees, shrubs, ground cover, and site furnishings appropriate to use.
 - B. Applicability: The following requirements shall apply to all new development of public parks, pocket parks, detention ponds, trail connections and common open space areas for both public and HOA use.
 - C. General Design Standards
 - 1. All parks shall be landscaped and programmed to create a balance of plant material with no more than fifty percent (50%) of the total landscaped area comprised of high water plant species.
 - 5. Park periphery and detention pond areas shall consist of low water or native plant material and grass seed mix.
 - 6. Common open spaces and trail connections shall be landscaped with a balance of low water or native plant material and grass seed mix to reduce the need for supplemental irrigation in hard to reach areas.
 - 9. Development shall provide a mechanism such as a homeowners association and covenants for long-term maintenance of parks, detention ponds, and common open spaces, in order to ensure the continued upkeep of the property.
- 5.04.9 Standard Lot Detached and Attached Single-Family Residential Development Landscape Standards
 - A. Purpose and intent: To ensure that single-family residences contain consistently landscaped front yards and are designed with water conservation in mind.
 - B. Applicability: In addition to landscaping the right-of-way tree lawn, detached and attached single-family parcels developed as part of an overall subdivision, shall meet the following standards.
 - C. General design standards:
 - 1. Landscaping of a single-family lot under one half (1/2) acre in size shall include no

more than fifty percent (50%) of the total landscaped area comprised of high water use plant material such as turf grass.

2. There shall be a minimum of seventy-five percent (75%) live materials between the front of the single-family residential structure and the curb, excluding the paved driveway areas.
3. Each single-family residential owner shall maintain the owner's yard and landscaping within the adjacent road right-of-way.

5.05 Off-Street Parking

5.05.7 Off-Street Parking Requirement. Off-street parking shall be provided in accordance with the minimum ratios specified in Table 5.05.7-1

5.10 Stormwater and Sewer

5.10.1 Purpose. The intent of this section is to ensure that the stormwater drainage system addresses the broader goals of drainage and flood control problem alleviation, environmental preservation enhancement that consider quality, water way stability and natural habitat and resource protection, and long-term maintenance of the Town's drainage systems.

5.10.4 Sanitary sewer

- A. All residential uses shall have a sanitary sewer facilities designed by a registered professional engineer in accordance with the regulations and standards of the Colorado Department of Public Health and Environment.
- B. The sanitary sewer system shall be connected to an existing public sanitary sewer system and consist of a closed system of sanitary sewer mains and lateral branch connections to each structure or lot upon which a structure is to be built.
- C. Sanitary sewer lines are to be of sufficient size and design to collect all sewage from all proposed portable structures within the subdivision or development and designed per the Town of Wellington Standard Design Criteria and Standard Construction Requirements.

5.10.5 Potable Water

- B. All water utilities shall be designed per the Town of Wellington Standard Design Criteria and Standard Construction Requirements.

5.11 Transportation and Connectivity

5.11.1 Purpose.

- A. Establish a safe, efficient, attractive transportation system that promotes all modes of transportation and is sensitive to the environment.

5.11.3 Streets. The local street system of any proposed development is designed to be safe, efficient, convenient, and attractive and consider the use by all modes of transportation that will use the system.

A. Street Layout

1. All streets are aligned to join with planned or existing streets consistent with the approved Street Master Plan and Comprehensive Master Plan.
2. The street layout forms an interconnected system of streets primarily in a grid or modified pattern adapted to the topography, unique natural features, environmental constraints, and peripheral open space areas.
4. The use of cul-de-sacs and other roadways with a single point of access are minimized.

F. Access. Access to all subdivisions shall come from a public street.

I. Street Names. Names of new streets comply with the IGA with Larimer County and the Municipalities of Larimer County concerning standardization of street names.

5.11.4 Sidewalks, Pathways, and Trails

B. Sidewalks Required

1. In all zoning districts, except for the R-1, LI and I Districts, sidewalks are required along both sides of a street.

SUBDIVISION REGULATIONS

6.01 Purpose and Organization

- B. Intent. This Article promotes the health, safety, convenience, order, prosperity and welfare of the present and future inhabitants of the Town by:
2. Promoting compact, well-defined neighborhoods that enhance the Town's character.
 3. Create livable neighborhoods that foster a sense of community.
 8. Providing open spaces for adequate stormwater management.

6.01 Design and Improvement Standards

- A. Applicability. All applications shall comply with the density, dimension, design and zoning standards contained in herein.
- C. Community Design Principles. The design, layout, and orientation of subdivisions, lots, buildings and infrastructure shall be consistent with the Comprehensive Plan.
- 3.g Water conservation.
4. Compact urban growth. The Comprehensive Master Plan includes a compact urban growth policy that encourages and directs development to take place within areas contiguous to existing development in the community.

6.02 Dedications

- A. Streets. All street rights-of-way shall be dedicated to the Town.
- B. Sidewalks, walkways, and multi-use trails
1. All walkways, sidewalks, and multi-use paths located within the right-of-way shall be dedicated to the Town.
 2. All walkways, sidewalks, and multi-use paths that are not located with the right-of-way shall be dedicated to a duly formed owners' association.
- C. Utilities
1. Utility easement width. Utility easement widths and locations shall comply with the design standards.
 2. Multiple installations within easement. Easements shall be designed to provide efficient installation of utilities. Public utility installations shall be located to permit multiple installations within easements.
 3. Underground utilities.
 - a. Telephone lines, electric lines, cable television lines and other utility services shall be placed underground.

Exhibit "A"

Property Description

Saddleback Subdivision First Replat – Preliminary Plat and Rezoning
Town of Wellington, Colorado

Tracts of land located in the West Half of the Southeast Quarter of Section 3, Township 8 North, Range 68 West of the 6th Principal Meridian, Town of Wellington, County of Larimer, State of Colorado, described as follows:

Lots 1-31, Block 1

Lots 1-35, Block 2

Lots 1-31, Block 3

Lots 1-26, Block 4

Lots 1-30, Block 5

Tracts A and B

Saddleback Subdivision, recorded 6/8/2018 at Reception No. 20180034683, Larimer County
Clerk and Recorder

PRELIMINARY PLAT OF
SADDLEBACK SUBDIVISION FIRST REPLAT

BEING A REPLAT OF LOTS 1-31, BLOCK 1; LOTS 1-35, BLOCK 2; LOTS 1-31, BLOCK 3; LOTS 1-26, BLOCK 4; LOTS 1-30, BLOCK 5; AND TRACTS A AND B, SADDLEBACK SUBDIVISION, LOCATED IN THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 8 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO

LEGAL DESCRIPTION:

Tracts of land located in the West Half of the Southeast Quarter of Section 3, Township 8 North, Range 68 West of the 6th Principal Meridian, Town of Wellington, County of Larimer, State of Colorado, described as follows:

Lots 1-31, Block 1
Lots 1-35, Block 2
Lots 1-31, Block 3
Lots 1-26, Block 4
Lots 1-30, Block 5
Tracts A and B
Saddleback Subdivision, recorded 6/8/2018 at Reception No. 20180034683, Larimer County Clerk and Recorder;

The above described land contains 2,471,198 square feet or 56.731 acres more or less and is subject to all easements and rights-of-way now on record or existing.

DEDICATION OF PUBLIC PROPERTY

The owner of the real property described in this Plat has caused the real property to be surveyed, laid out and subdivided under the name and style of **SADDLEBACK SUBDIVISION FIRST REPLAT**, and does hereby sell, grant, dedicate and convey to the Town of Wellington in fee simple, free and clear of all liens and encumbrances, and set apart all of the streets, roads, alleys, easements and other public ways and places as shown on the accompanying plat to the use of the public forever. The owner shall be responsible for construction and maintenance of all improvements of said streets, alleys, easements, public ways and places, until acceptance of maintenance therefor by the Town as provided in the Wellington Municipal Code.

CERTIFICATE OF OWNERSHIP

I certify that SH Holdings of Colorado, LLC, is the owner of the property, and hereby consents to this plat and joins in the conveyance and dedication of all streets, alleys, easements, public ways, and places shown heron.

OWNER: SH Holdings of Colorado, LLC

By: _____
Daren L. Roberson, Member

NOTARIAL CERTIFICATE:

STATE OF COLORADO)ss.

COUNTY OF LARIMER)

The foregoing instrument was acknowledged before me this _____ day of _____, 2023 by Daren L. Roberson as Member of SH Holdings of Colorado, LLC.

Witness my hand and official seal.

My commission expires: _____

Notary Public

PLANNING COMMISSION CERTIFICATE

Approved this _____ day of _____, 20____, by the Town Planning and Zoning Commission, Wellington, Colorado.

Chairman

BOARD OF TRUSTEES CERTIFICATE

Approved this _____ day of _____, 20____, by the Board of Trustees, Wellington, Colorado. This approval is conditioned upon all expenses involving necessary improvements for all utility services, paving, grading, landscaping, curbs, gutters, street lights, street signs and sidewalks shall be financed by other and not the towns.

Mayor

ATTORNEY'S CERTIFICATION

I, _____, an attorney licensed to practice law in the State of Colorado, certify to the Town of Wellington, Colorado, that I have examined the title to the property being subdivided and being dedicated to the Town of Wellington, Colorado, and that all owners and proprietors as defined by CRS 31-23-111 have signed this plat.

Attorney: _____

Address: _____

Registration No.: _____

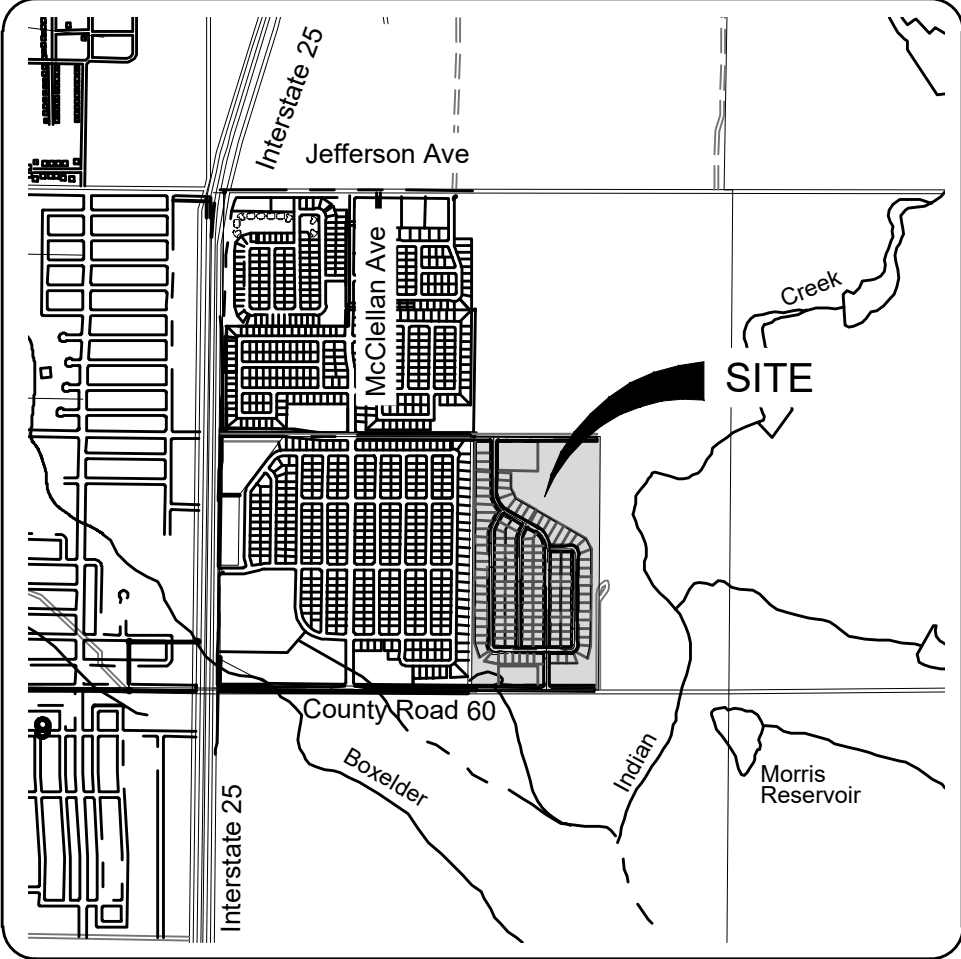
NOTES:

1. Basis of Bearing is the West line of the Southeast Quarter of Section 3, Township 8 North, Range 68 West of the 6th P.M. as bearing South 00°30'16" West (assumed bearing).
2. All information regarding easements, rights-of-way or Title of Record, Northern Engineering relied upon Property Information Binder No. PIB25205245.24881530, prepared by Land Title Guarantee Company, dated April 14, 2023 .
3. The lineal unit of measurement for this plat is U. S. Survey Feet.
4. Existing Zoning: R-2 Residential Low Density
Proposed Zoning: R-3 Residential Medium Density

SURVEYOR'S CERTIFICATE

I, Robert C. Tessely, a duly registered professional land surveyor in the State of Colorado, do hereby certify that this plat of **SADDLEBACK SUBDIVISION FIRST REPLAT** was performed by me or under my direct supervision, and that this plat has been prepared in compliance with all applicable laws of the State of Colorado at the time of this survey and within my control and is accurate to the best of my knowledge, information and belief.

Robert C. Tessely
Colorado Registered Land Surveyor No. 38470
For and on Behalf of Northern Engineering Services, Inc.



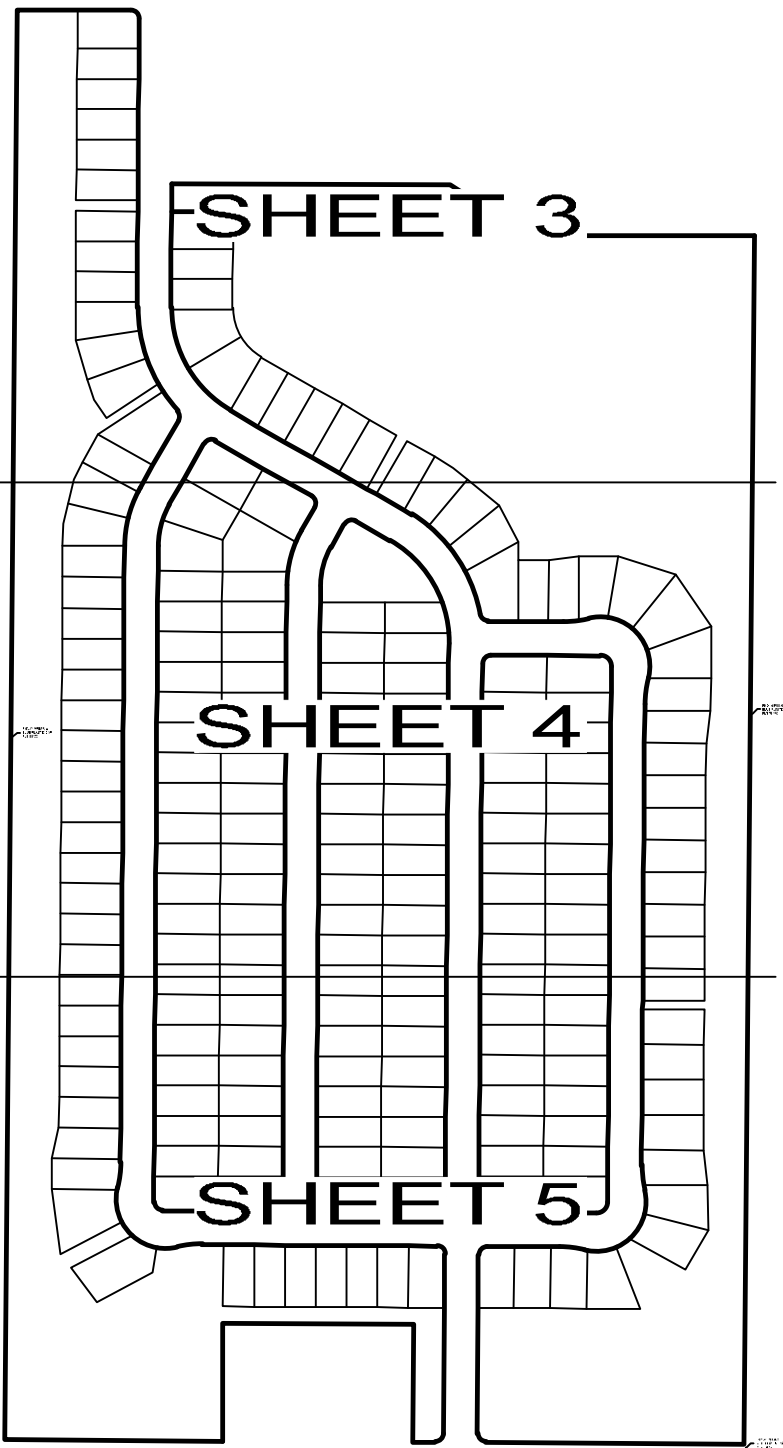
APPLICANT
SH Holding of Colorado, LLC
395 Delozier Drive, #110
Fort Collins, CO 80524
(970) 224-3103

SITE ENGINEER
Northern Engineering Services, Inc.
301 North Howes Street, Suite 100
Fort Collins, Colorado 80521
(970) 221-4158

DEVELOPER
SH Holding of Colorado, LLC
395 Delozier Drive, #110
Fort Collins, CO 80524
(970) 224-3103

SURVEYOR
Northern Engineering Services, Inc.
301 North Howes Street, Suite 100
Fort Collins, Colorado 80521
(970) 221-4158

SHEET INDEX



NOTICE:
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown hereon.

SECTION:
3
TOWNSHIP:
8N
RANGE:
68 W of the 6th PM

NORTHERN ENGINEERING
SURVEY | MUNICIPAL | LAND DEVELOPMENT
FORT COLLINS | GREELEY 970.221.4158
NORTHERNENGINEERING.COM

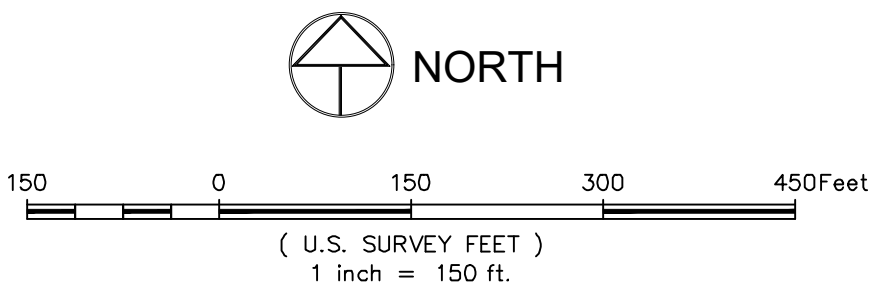
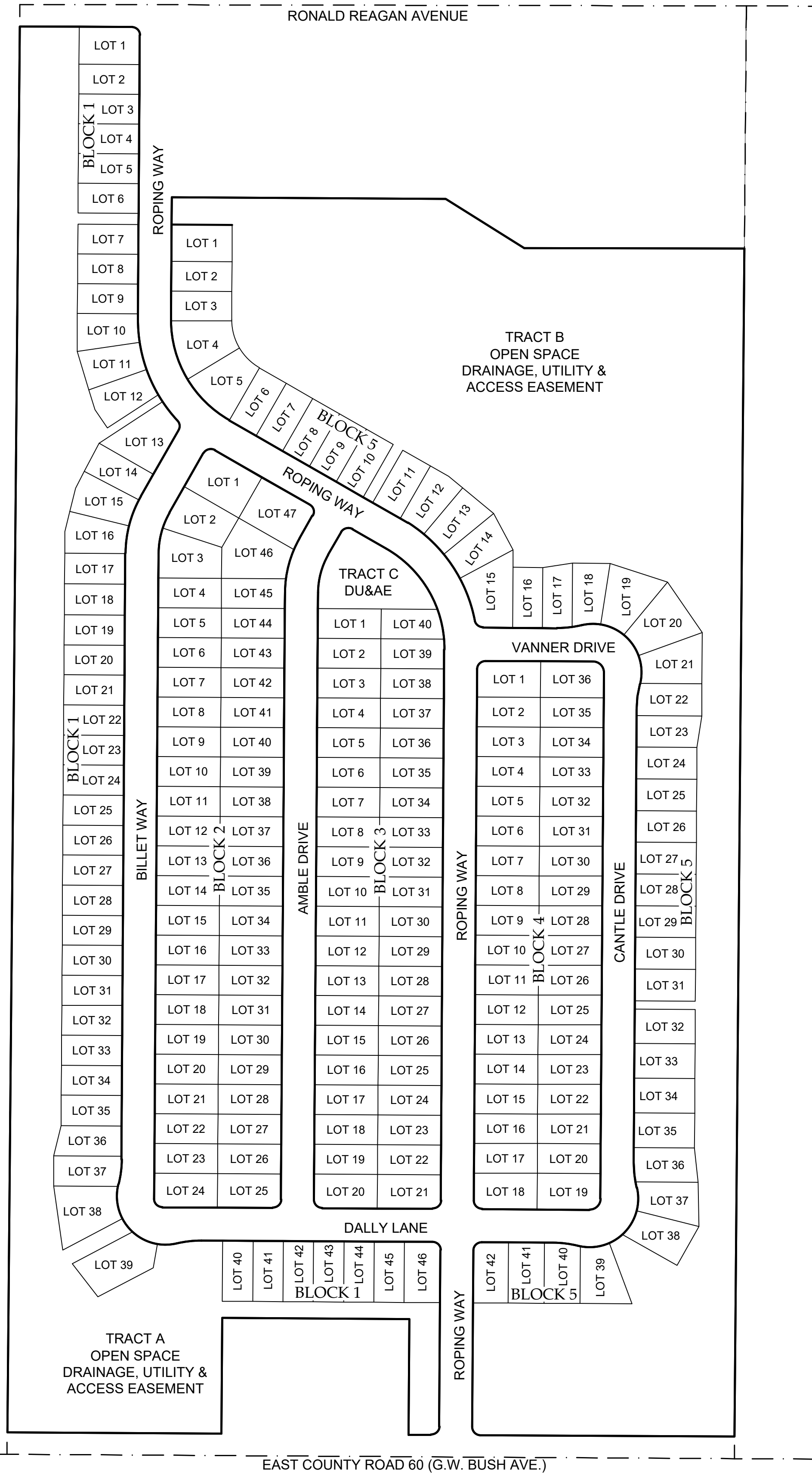
PROJECT:
992-003
CLIENT: SH of Colorado
DRAWN BY:
L. Smith
DATE:
5/17/23
SCALE:
As shown
REVIEWED BY:
R. Tessely

SADDLEBACK SUBDIVISION FIRST REPLAT
TOWN OF WELLINGTON
LARIMER COUNTY, COLORADO

Sheet
1
Of 5 Sheets

PRELIMINARY PLAT OF
SADDLEBACK SUBDIVISION FIRST REPLAT

BEING A REPLAT OF LOTS 1-31, BLOCK 1; LOTS 1-35, BLOCK 2; LOTS 1-31, BLOCK 3; LOTS 1-26, BLOCK 4; LOTS 1-30, BLOCK 5; AND TRACTS A AND B, SADDLEBACK SUBDIVISION, LOCATED IN THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 8 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO



CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	90°15'40"	15.00'	23.63'	N44°45'06"W	21.26'
C2	42°59'55"	270.00'	202.63'	N21°07'14"W	197.90'
C3	72°25'04"	15.00'	18.96'	N06°24'39"W	17.72'
C4	29°25'09"	210.00'	107.83'	N15°05'18"E	106.65'
C5	13°48'13"	189.00'	45.53'	N07°16'51"E	45.42'
C6	117°39'08"	88.00'	180.70'	N44°38'37"W	150.59'
C7	13°48'13"	189.00'	45.53'	S83°25'56"W	45.42'
C8	90°02'42"	15.00'	23.57'	N44°38'37"W	21.22'
C9	89°57'44"	15.00'	23.55'	N45°21'40"E	21.21'
C10	60°34'51"	210.00'	222.04'	N29°54'42"W	211.84'
C11	46°49'26"	271.00'	221.47'	N34°12'55"W	215.36'
C12	78°53'02"	15.00'	20.65'	N50°13'27"W	19.06'
C13	13°48'13"	189.00'	45.53'	S83°25'56"W	45.42'
C14	117°39'08"	88.00'	180.70'	N44°38'37"W	150.59'
C15	13°48'13"	189.00'	45.53'	N07°16'51"E	45.42'
C16	13°48'13"	189.00'	45.53'	N06°31'23"W	45.42'
C17	117°33'44"	88.00'	180.56'	N45°21'23"E	150.51'
C18	13°48'13"	189.00'	45.53'	S82°45'51"E	45.42'
C19	89°57'18"	15.00'	23.55'	N45°21'23"E	21.20'
C20	90°02'16"	15.03'	23.62'	N44°45'59"W	21.27'
C21	90°00'00"	15.00'	23.56'	S74°47'53"W	21.21'
C22	90°00'00"	15.00'	23.56'	N15°12'07"W	21.21'
C23	29°25'09"	200.00'	102.69'	N15°05'18"E	101.57'
C24	89°57'18"	15.00'	23.55'	N45°21'23"E	21.20'
C25	90°02'42"	15.00'	23.57'	S44°38'37"E	21.22'
C26	29°25'09"	150.00'	77.02'	S15°05'18"W	76.18'
C27	90°00'00"	15.00'	23.56'	N74°47'53"E	21.21'
C28	60°34'51"	210.00'	222.04'	S29°54'42"E	211.84'
C29	89°57'18"	15.00'	23.55'	S45°21'23"W	21.20'
C30	90°02'42"	15.00'	23.57'	N44°38'37"W	21.22'
C31	29°25'09"	140.00'	71.88'	N15°05'18"E	71.10'
C32	89°57'18"	15.00'	23.55'	S45°21'23"W	21.20'
C33	90°02'42"	20.00'	31.43'	N44°38'37"W	28.30'
C34	89°57'18"	20.00'	31.40'	N45°21'23"E	28.27'
C35	90°02'42"	15.00'	23.57'	S44°38'37"E	21.22'
C36	1°25'11"	100.00'	2.48'	S00°19'52"E	2.48'
C37	8°56'16"	270.00'	42.12'	S04°05'24"E	42.08'
C38	10°52'20"	270.00'	51.23'	S13°59'42"E	51.16'
C39	10°43'49"	270.00'	50.57'	S24°47'47"E	50.49'
C40	3°09'33"	270.00'	14.89'	S31°44'28"E	14.88'
C41	9°17'57"	270.00'	43.82'	S37°58'13"E	43.77'
C42	2°04'36"	210.00'	7.61'	S28°45'34"W	7.61'

CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C43	13°47'03"	210.00'	50.52'	S20°49'44"W	50.40'
C44	13°33'29"	210.00'	49.69'	S07°09'28"W	49.58'
C45	2°37'11"	88.00'	4.02'	S12°52'22"W	4.02'
C46	39°11'50"	88.00'	60.20'	S08°02'09"E	59.04'
C47	19°55'56"	88.00'	30.61'	S37°38'02"E	30.46'
C48	33°00'33"	88.00'	50.70'	S64°04'16"E	50.00'
C49	22°53'39"	88.00'	35.16'	N87°58'38"E	34.93'
C50	6°34'08"	200.00'	22.93'	S26°30'49"W	22.92'
C51	15°43'55"	200.00'	54.91'	S15°21'47"W	54.74'
C52	7°07'06"	200.00'	24.85'	S03°56'17"W	24.83'
C53	17°48'12"	150.00'	46.61'	N09°16'50"E	46.42'
C54	11°38'57"	150.00'	30.41'	N23°59'24"E	30.36'
C55	40°12'35"	210.00'	147.38'	S40°05'50"E	144.37'
C56	15°08'59"	210.00'	55.53'	S12°25'03"E	55.37'
C57	5°13'17"	210.00'	19.14'	S02°13'55"E	19.13'
C58	60°34'51"	100.00'	105.73'	S29°54'42"E	100.88'
C59	3°13'45"	88.00'	4.96'	S77°28'37"E	4.96'
C60	34°58'40"	88.00'	53.72'	N83°25'10"E	52.89'
C61	18°39'09"	88.00'	28.65'	N56°36'15"E	28.52'
C62	33°03'52"	88.00'	50.78'	N30°44'45"E	50.08'
C63	27°38'18"	88.00'	42.45'	N00°23'40"E	42.04'
C64	3°06'13"	189.00'	10.24'	N11°52'23"W	10.24'
C65	10°42'00"	189.00'	35.30'	N04°58'16"W	35.24'
C66	1°10'46"	88.00'	1.81'	N13°35'34"E	1.81'
C67	33°07'23"	88.00'	50.87'	N03°33'00"W	50.17'
C68	30°23'37"	88.00'	46.68'	N35°19'01"W	46.14'
C69	30°23'37"	88.00'	46.68'	N65°42'38"W	46.14'
C70	22°33'45"	88.00'	34.65'	S87°48'41"W	34.43'
C71	5°21'11"	189.00'	17.66'	S79°12'24"W	17.65'
C72	8°27'02"	189.00'	27.88'	S86°06'31"W	27.85'
C73	17°25'04"	271.00'	82.38'	N19°30'44"W	82.07'
C74	11°06'53"	271.00'	52.57'	N33°46'42"W	52.49'
C75	10°50'13"	271.00'	51.26'	N44°45'15"W	51.18'
C76	7°27'16"	271.00'	35.26'	N53°54'00"W	35.23'
C77	29°46'42"	100.00'	51.97'	S15°55'48"E	51.39'
C78	29°22'59"	210.00'	107.69'	N45°30'38"W	106.52'
C79	30°31'19"	210.00'	111.87'	N15°33'29"W	110.55'
C80	0°40'34"	210.00'	2.48'	N00°02'27"E	2.48'
C81	29°22'59"	100.00'	51.28'	S45°30'38"E	50.72'

LAND USE TABLE					
PARCEL	AREA	PERCENT	USE	OWNED & MAINTAINED BY	
TRACT A	376,398 S.F.	8.84 AC.	15.23%	Open Space - Drainage, Utility & Access Easement	Homeowners Association
TRACT B	696,447 S.F.	16.03 AC.	28.26%	Open Space - Drainage, Utility & Access Easement	Homeowners Association
TRACT C	21,286 S.F.	0.49 AC.	0.86%	Open Space - Drainage, Utility & Access Easement	Homeowners Association
LOTS (211)	1,375,067 S.F.	31.57 AC.	55.65%	Single-Family Residential	Property Owner
TOTAL	2,471,198 S.F.	56.73 AC.	100.00%		

DRAFT
5-1-23
PRELIMINARY - NOT FOR CONSTRUCTION,
RECORDING PURPOSES OR IMPLEMENTATION

PRELIMINARY
For and on behalf of Northern Engineering Services, Inc.
Robert C. Tesseley
Colorado Registered Professional Land Surveyor No. 38470

NOTICE:
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown herein.

SECTION:
3
TOWNSHIP:
8N
RANGE:
68 W of the 6th PM

NORTHERN
ENGINEERING
SURVEY | MUNICIPAL | LAND DEVELOPMENT
FORT COLLINS | GREELEY 970.221.4188 NORTHERNENGINEERING.COM

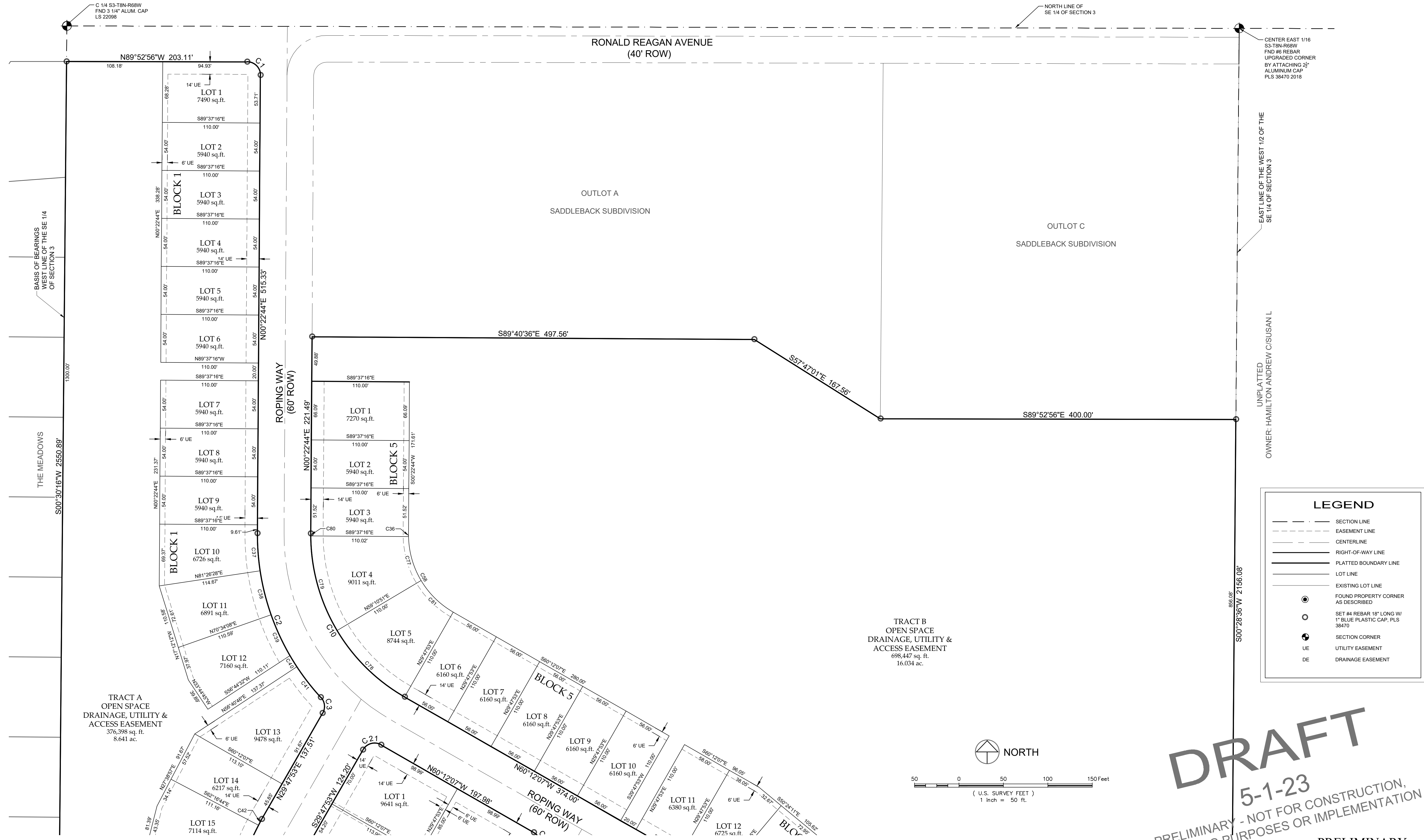
DATE:
5/1/23
SCALE:
1"=150'
REVIEWED BY:
R. Tesseley
PROJECT:
992-003
CLIENT: SH of Colorado
DRAWN BY:
L. Smith

SADDLEBACK SUBDIVISION FIRST REPLAT
TOWN OF WELLINGTON
LARIMER COUNTY, COLORADO
Sheet
2
Of 5 Sheets

PRELIMINARY PLAT OF
SADDLEBACK SUBDIVISION FIRST REPLAT

BEING A REPLAT OF LOTS 1-31, BLOCK 1; LOTS 1-35, BLOCK 2; LOTS 1-31, BLOCK 3; LOTS 1-26, BLOCK 4; LOTS 1-30, BLOCK 5; AND TRACTS A AND B, SADDLEBACK SUBDIVISION, LOCATED IN THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 8 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO

UNPLATTED
OWNER: JOHNSON ROBERT H



SEE SHEET 4

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3	8N	68 W of the 6th PM

NORTHERN ENGINEERING
SURVEY | MUNICIPAL | LAND DEVELOPMENT
FORT COLLINS | GREELEY 970.221.4188 NORTHERNENGINEERING.COM

PROJECT:	DATE:	SCALE:	REVIEWED BY:
992-003	5/1/23	1"=50'	R. Tesseley
CLIENT: SH of Colorado			
DRAWN BY: L. Smith			

SADDLEBACK SUBDIVISION FIRST REPLAT
TOWN OF WELLINGTON
LARIMER COUNTY, COLORADO

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SEE SHEET 3



SEE SHEET 5

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SECTION:
3
TOWNSHIP:
8N
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68 W of the 6th PM

NORTHERN ENGINEERING
SURVEY | MUNICIPAL | LAND DEVELOPMENT
FORT COLLINS | GREELEY 970.221.4188 NORTHERNENGINEERING.COM

DATE:
5/1/23
PROJECT:
992-003
CLIENT: SH of Colorado
SCALE: 1"=50'
REVIEWED BY:
R. Tesseley
DRAWN BY:
L. Smith

SADDLEBACK SUBDIVISION FIRST REPLAT
TOWN OF WELLINGTON
LARIMER COUNTY, COLORADO

Sheet
4
Of 5 Sheets

PRELIMINARY

For and on behalf of Northern Engineering Services, Inc.
Robert C. Tesseley
Colorado Registered Professional Land Surveyor No. 38470

DRAFT
5-1-23
PRELIMINARY - NOT FOR CONSTRUCTION,
RECORDING PURPOSES OR IMPLEMENTATION

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SEE SHEET 4



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TOWNSHIP:
8N

RANGE:
68 W

NORTHERN ENGINEERING

SURVEY | MUNICIPAL | LAND DEVELOPMENT

FORT COLLINS | GREELEY 970.221.4188 NORTHERNENGINEERING.COM

PROJECT:
992-003

DATE:
5/1/23

CLIENT: SH of Colorado

SCALE:
1"=50'

DRAWN BY:
L. Smith

REVIEWED BY:
R. Tesseley

SADDLEBACK SUBDIVISION FIRST REPLAT

TOWN OF WELLINGTON

LARIMER COUNTY, COLORADO

Sheet
5
Of 5 Sheets

PRELIMINARY

For and on behalf of Northern Engineering Services, Inc.
Robert C. Tesseley
Colorado Registered Professional Land Surveyor No. 38470



Planning Commission Meeting

Date: June 12, 2023
Submitted By: Paul Whalen, Planner III
Subject: Amended Site Plan for Lot 4, Block 1, Wellington Business Center

EXECUTIVE SUMMARY

BACKGROUND / DISCUSSION

General Location:

- Southeast corner of Wine Cup Street and Globeflower Street. (Addressed as 6599 Buttercup)

Applicant/Agent:

- Applicant/Agent: Summitt Partners LLC – Eric Larsen

Reason for request:

- Approve an Amendment to an approved Site Plan for a 20,912 SF multi-tenant commercial flex building in the C-3, Mixed Use Commercial zone district.

Background Information:

- The property addressed as 6599 Buttercup Drive, is located at the southeast corner of Wine Cup Street and Globeflower Street, (Please see attached Location Map).
- The property is zoned C-3 Mixed Use Commercial, and a commercial flex building is a permitted use within the C-3 zone district.
 1. The property is part of a mixed-use commercial subdivision that includes buildings constructed over the last 3-4 years.
- The original site plan 2020-SPR03 approved in 2020 included both Lot 4 and Lot 5, and is valid for a period of three-years, (Land Use Code Section 2.12.2-E4). Construction commenced in 2021 on Lot 5, however the applicant now desires to modify the structure proposed on Lot 4.
- A change to the approved site plan requires re-submittal of a new site plan for Town approvals prior to issuance of a building permit. The revised site plan review confirms the intent and conditions of the previously approved site plan is carried through on the amended site plan while still complying with the most current land use codes as amended.
- Lot 4 is approximately 1.58-acres in size, with the proposed building enclosing 20,912 SF of floor area. The building will be partitioned for individual tenant needs.
- Lot 4 will be accessed via Buttercup Drive, a private road that intersects with Town of Wellington Wine Cup Street.

Staff Comments:

1. The proposed amended site plan addresses only those site features that have been modified, mainly the building length & width, and building height.
2. The applicant proposes adding an additional 20-ft to the building width, and a covered loading dock (912-SF) as indicated on the attached site plan, all other site and building features on the south side of the building will also shift 20-ft towards the existing Lot 5 structure. The total building footprint has increased from 15,000 square feet to 20,912 square feet with the increase of the building width. The proposed building footprint increase will meet dimensional standards measuring 80-ft X 266-ft, a building width increase of 20-ft and a building length increase of 16-ft from the originally approved 60-ft X 250-ft building footprint. The new building will also increase the height by 3'-8", from 24'-8" to 28'-4". In addition the parking count has been increased by (4) four parking spaces from (68) parking spaces to (72) parking spaces. Two bicycle spaces have also been provided as required, and all other site features remain the same as originally approved.
3. The landscape plan is minimal as the west and north perimeter landscaping was installed by the developer and is existing. Plant materials were added to the Buttercup Drive frontage to comply with the Town's current landscape standards, (Land Use Code Section 5.04).

4. Legal Description: Wellington Business Center, Lot 4, Block 1. Situate in the Northeast Quarter of Section 9, Township 8North, Range 68West of the 6th P.M., Town of Wellington, County of Larimer, State of Colorado
5. Parking: The reconfigured Lot 4 site plan proposes (72) parking spaces which would exceed the code minimum 2 spaces per 1,000 SF ratio.
 - Sixty-eight (68) regular and (4) four accessible parking spaces a minimum width (9-feet) and depth requirement (18-feet) are proposed, meeting the requirement.
 - ADA standards require (1) accessible parking space for every 25 parking spaces, there are (72) total parking spaces proposed thus (3) ADA accessible parking spaces are required. Four accessible spaces are provided meeting the minimum requirement.
6. Landscape/Screening and Buffering: The 2022 amended land use code requires Mixed-Use Commercial zoned properties provide a minimum 15% of gross site for landscaping with trees required every 40-feet on-center along the street. In addition, shrubs and groundcovers, earthen berms and landforms, walls/fences or a combination thereof are required to accent building architecture, screen parking lots and outdoor storage areas from public views. (25% of perimeter trees are to be evergreen). Comparable to a light industrial business park, the approved Wellington Business Center development plan, Lots 4 & Lot 5 were configured, and site designed in compliance with the Town Land Use Code at that time. The previously approved Lot 4 & Lot 5 Wellington Business Center landscape plan was only partially constructed with street tree lawns and group plantings installed. The subdivision was designed with lots platted to provide perimeter landscape areas with minimal internal areas for on-site landscaping. In keeping with the spirit and intent of the land use code (LUC), the applicant proposes replacing dead or dying plants and maintaining the subdivision's perimeter landscaping buffers, with limited internal planter areas to screen the site from public views.
 - Parking Lot Trees: The code minimum requiring (13) trees at one tree for each 40-ft. of parking lot perimeter (513.21-ft) has been satisfied with (15) trees provided along the site perimeter.
 - Shrubs: 15% of the required landscape area must be landscaped with a combination of groundcovers and shrubs to effectively screen the site. Landscaping along the site perimeter requires (5) shrubs for every 25-ft of street frontage (513.21-ft), the (137) shrubs and grasses exceeds the (105) required by the land use code.
 - Parking Lot Islands: One landscape island at least 9-feet wide with (1) tree and 75% live groundcover is required for every 15 parking spaces. Seventy-two total parking spaces are proposed, thus (5) parking lot islands with trees and shrubs are required. The equivalent of six parking islands is provided. Those islands with pole lights that conflict with trees have been enhanced with additional shrub plantings.
 - Parking Lot Shrubs/Screening: The parking lots are screened and buffered from public view by the existing perimeter landscaping. Shrubs are spaced appropriately to effectively meet the parking lot screening requirement. Dead trees and plant materials shall be replaced.
7. Engineering Review: Issuance of Building Permits shall not occur until the amended Site Plan has been reviewed and approved by the Town Engineer. Any required changes including but not limited to the following items shall be included for site plan reviews:
 - Site Drainage: The Wellington Business Center Subdivision is served by a regional basin- Tract F approved during the subdivision process. A Drainage Letter/Memo is required by the Town Engineer to verify operational adequacy of the system.
 - Site Utilities: Mostly consistent with the original approved site plan, site, grading and utility information including but not limited to proposed site contours, utility services/Point-of-Connection/meter locations and sizes, sand-oil separators and fire hydrant locations and sizes have been updated to reflect the enlarged Lot 4 building footprint.
8. Fire District Review: The applicant shall maintain the existing fire hydrant in accordance with the Wellington Fire District standards. Building plan review and a permit issued by Wellington Fire Protection District is required prior to commencement of construction.
9. Architectural Design Standards: The Lot 4 building as proposed will be consistent with the existing Lot 5 building, and the approved site plan architectural-color theme.
 - In accordance with the Town's commercial and industrial architectural design requirements (Land Use Code Section 5.09.2), the architectural character of the facility remains unchanged as originally approved and continues to satisfy the requirements of the Town Land Use Code as amended.
10. Mechanical Equipment and Rooftop Units: The applicant has located HVAC/mechanical units away from public view, at the rear of the building near the loading docks.
11. Miscellaneous:
 - The plans need to be updated with the prior noted information (redlined plans and written comments) and resubmitted for review and refinement.
12. Corrected Plans: Following Planning Commission approval, the applicant shall be required to revise the site plan documents to incorporate all corrections or comments and submit revised copies to the Town for continued review and final approval processes. Changes on the site plan sheets shall be clouded, and a list of all changes shall be provided, noting which comment each is addressing.

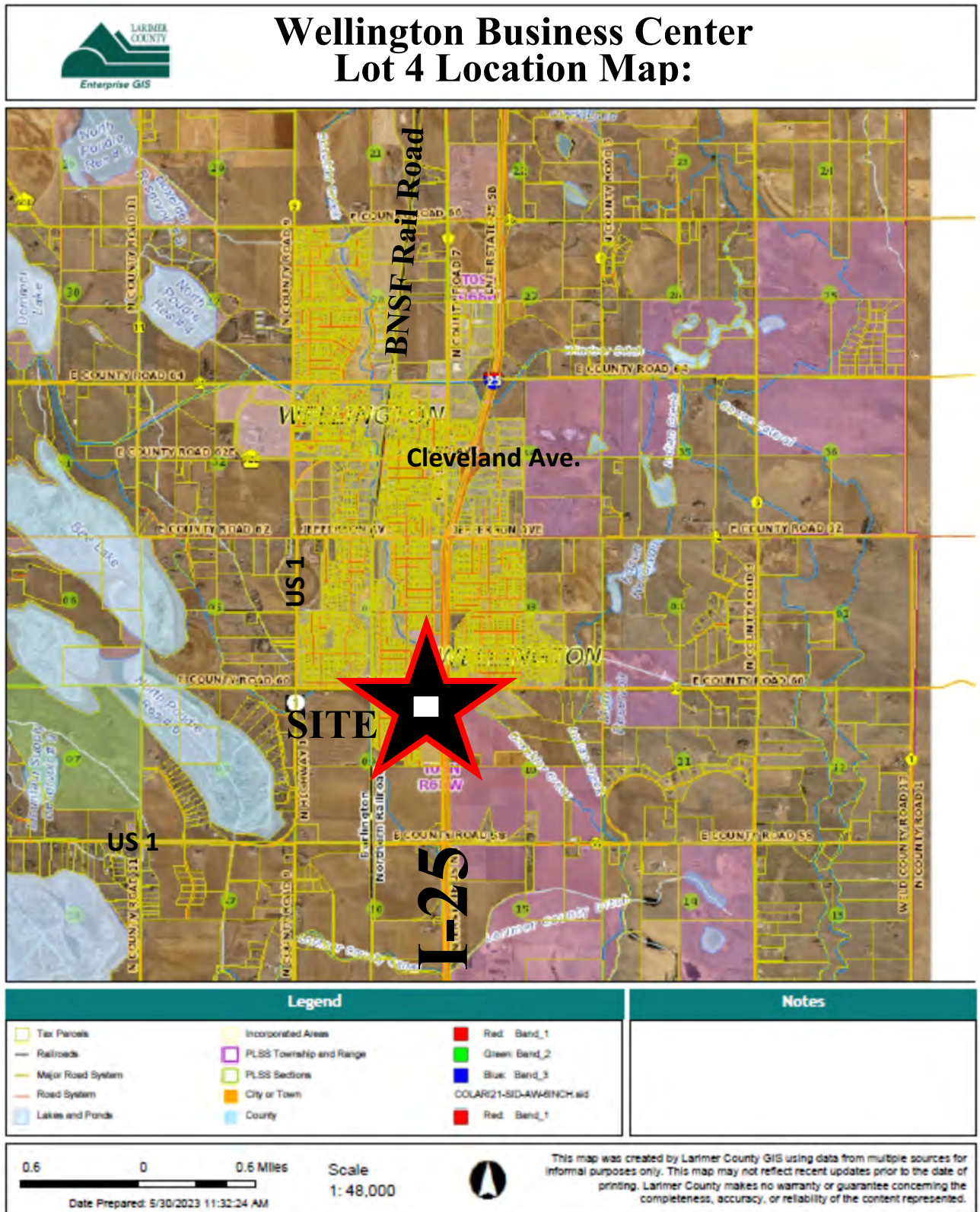
STAFF RECOMMENDATION

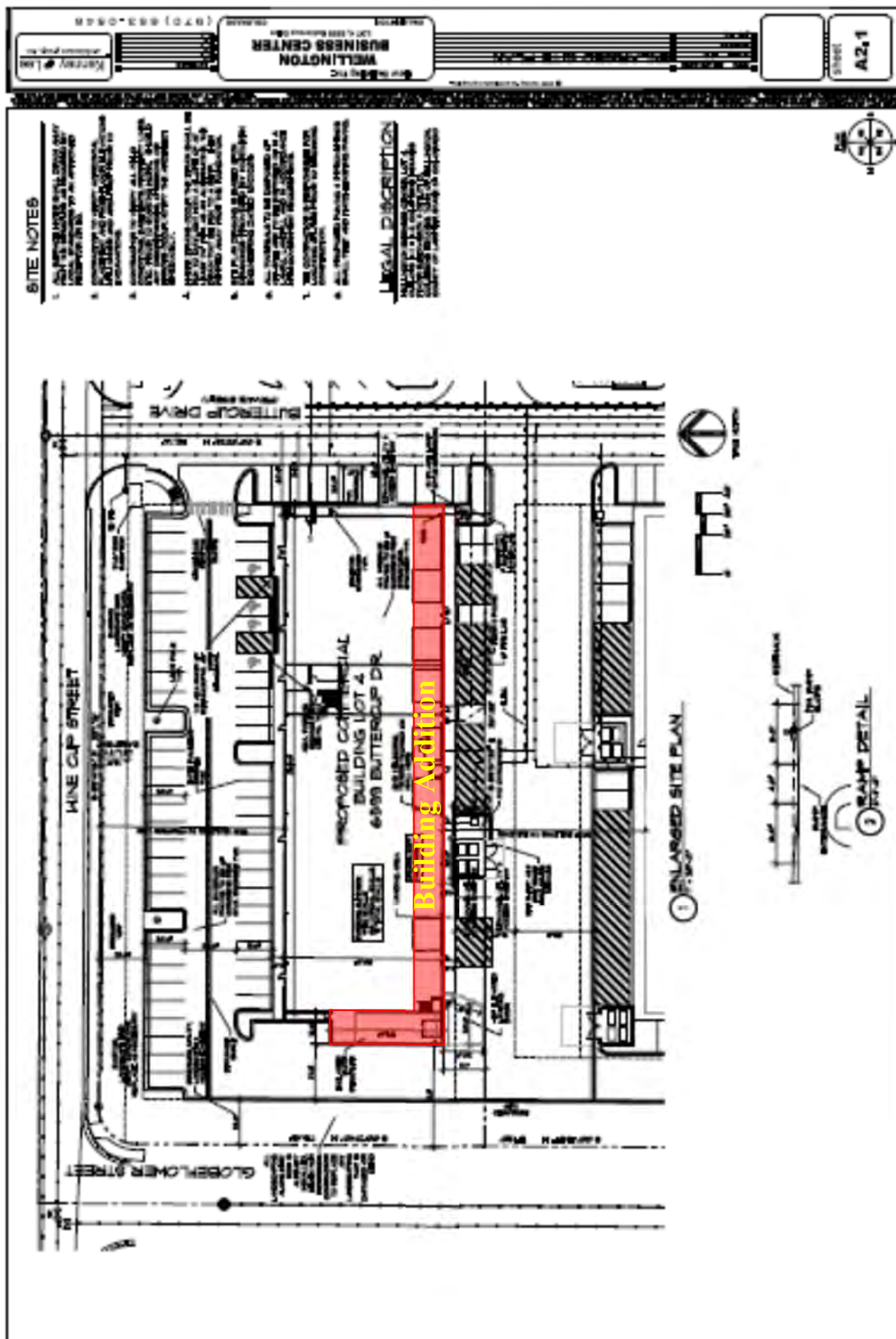
Move to approve the amended site plan for Lot 4, Block 1, Wellington Business Center, subject to staff report comments and Town Engineer approvals.

ATTACHMENTS

1. Location Map
2. Site Plans
3. Presentation Slides

Lot 4, Block 1, Wellington Business Center





LOT 4 SITE PLAN:

AMENDED SITE PLAN FOR:
6599 Buttercup Drive

LEGAL DESCRIPTION:
WELLINGTON BUSINESS CENTER, LOT 4, OUTLOTS
E-1 & E-2, COLUMBINE ESTATES MINOR SUBDIVISION
& OUTLOT D, COLUMBINE ESTATES, TOWN OF
WELLINGTON, COUNTY OF LARIMER, STATE OF
COLORADO

WELLINGTON

Kenney Lee
architecture group, inc.

L o v e l a n d • C o l o r a d o
(9 7 0) 6 6 3 - 0 5 4 8

COLORADO

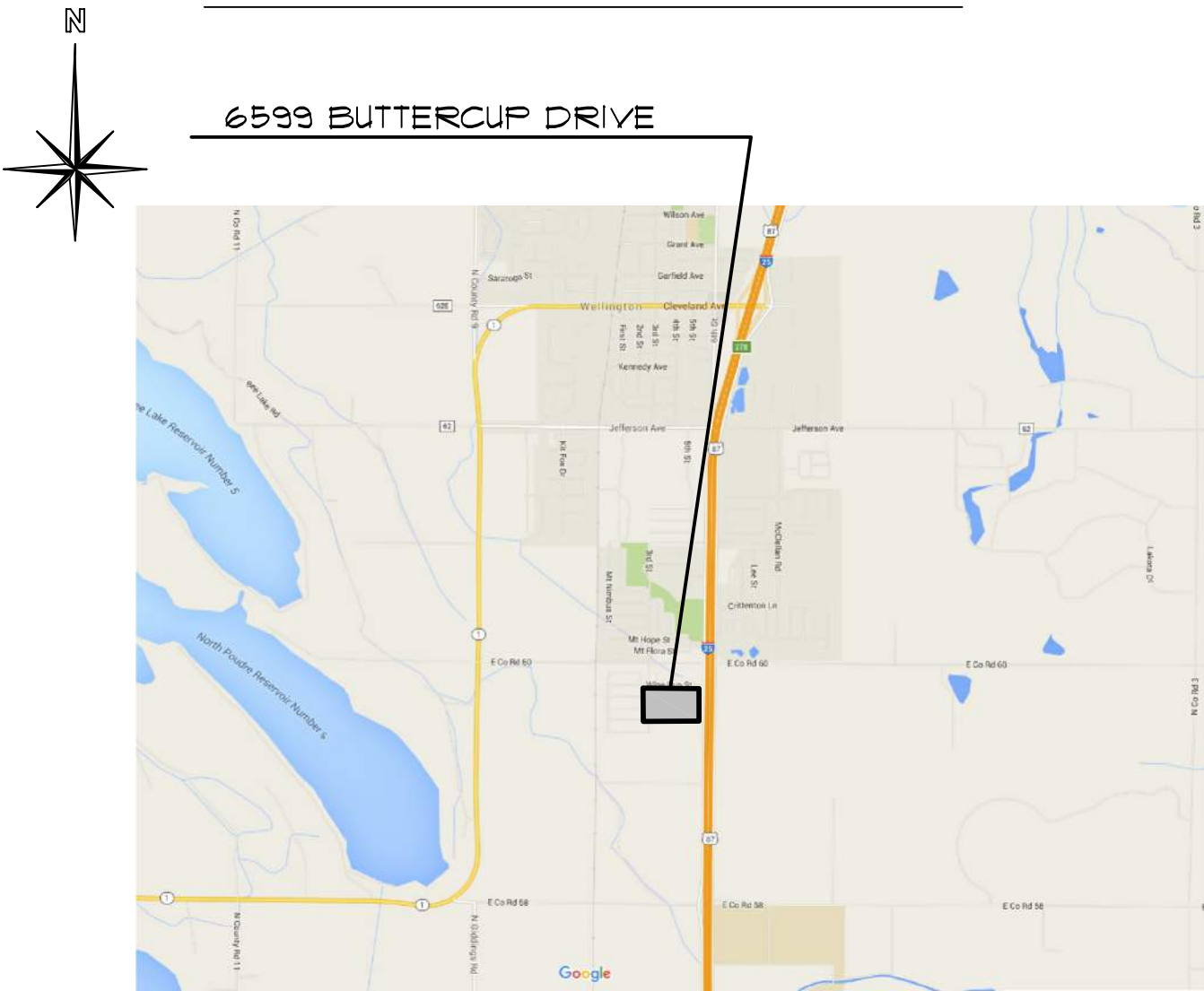
SITE DATA TABLE

CONDITIONS

SHEET INDEX

LOT 4		
ZONING	TYPE OF CONSTRUCTION	
C-3 HIGHWAY COMMERCIAL	TYPE VB - SPRINKLERED	
SITE ACREAGE	PROPERTY LANDSCAPING	
LOT 4: APPROX. 69,000 S.F. = 1.58 ACRES	13,786 S.F. 20.0% OF PROPERTY	
LAND USE (ALL PERMITTED BY RIGHT)	FEMA FLOOD PLAIN	
OFFICE - (FUTURE)	PROPERTY IS NOT IN A FLOOD PLAIN	
WORKSHOP - (FUTURE)		
SQUARE FOOTAGE / OCCUPANCY		
OFFICE - B	4,200 S.F. (FUTURE)	
WORKSHOP - F-1	13,800 (FUTURE)	
RETAIL - M	2,000 (FUTURE)	
PARKING REQUIREMENTS		
2 / 1000 S.F. FOR PROFESSIONAL OFFICES - 4,200 S.F. @ 2/1,000 = 9 SPACES		
4 / 1000 S.F. FOR RETAIL - 2,000 S.F. @ 4/1,000 = 8 SPACES		
1 / 1000 S.F. FOR WORKSHOP - 13,800 S.F. @ 1/1,000 = 14 SPACES		
31 SPACES REQUIRED		
12 SPACES PROVIDED		
ADA SPACES = 51-75 + 3 SPACES		
4 SPACES PROVIDED		
BICYCLE PARKING 2% OF REQUIRED CAR PARKING = 2 SPACES		
2 SPACES PROVIDED		
ALLOWED SETBACKS		
FRONT YARD - 25' (EAST FACING)		
SIDE YARD - 0' (NORTH/SOUTH FACING)		
REAR YARD - 20' (WEST FACING)		
BUILDING HEIGHT		
45' ALLOWED		
28'-4" PROPOSED		

VICINITY MAP



ARCHITECTURAL:	
A1.0	COVER SHEET
A2.1	SITE PLAN
A2.2	TRASH ENCLOSURE / DETAILS
A3.1	EXTERIOR ELEVATIONS
1	COVER SHEET
2	GENERAL NOTES
3	EXISTING TOPOGRAPHY & DEMOLITION
4	SITE & UTILITY PLAN
5	GRADING & EROSION CONTROL
6	UTILITY DETAILS
7	UTILITY DETAILS
8	EROSION CONTROL DETAILS
1 of 2	FLAT COVER SHEET
2 of 2	FLAT
L-1	LANDSCAPE PLAN
IR-1	IRRIGATION PLAN
IR-2	IRRIGATION DETAILS

CONSULTANTS

OWNER	INTEGRITY LAND GROUP LLC 2880 STATE ROUTE 45 S SALEM, OH 44460
ARCHITECT	KENNEY LEE ARCHITECTURE GROUP, INC. 209 EAST FOURTH STREET LOVELAND, COLORADO 80531 (970) 663-0548
CIVIL ENGINEER	SHANE RITCHIE OMBRE CIVIL ENGINEERING FORT COLLINS, CO 970.573.6417
LANDSCAPE ARCHITECT	CENTENNIAL DESIGN 601 S. 9TH ST. BERTHOUD, COLORADO 80513 (970) 217-4955

6599 BUTTERCUP DRIVE - CORE/SHELL FLEX BUILDING
SOUTHWEST CORNER OF WINE CUP STREET & BUTTERCUP DRIVE
LEGAL DESCRIPTION:
WELLINGTON BUSINESS CENTER, LOT 4, OUTLOTS E-1 & E-2,
COLUMBINE ESTATES MINOR SUBDIVISION & OUTLOT D,
COLUMBINE ESTATES, TOWN OF WELLINGTON, COUNTY OF
LARIMER, STATE OF COLORADO

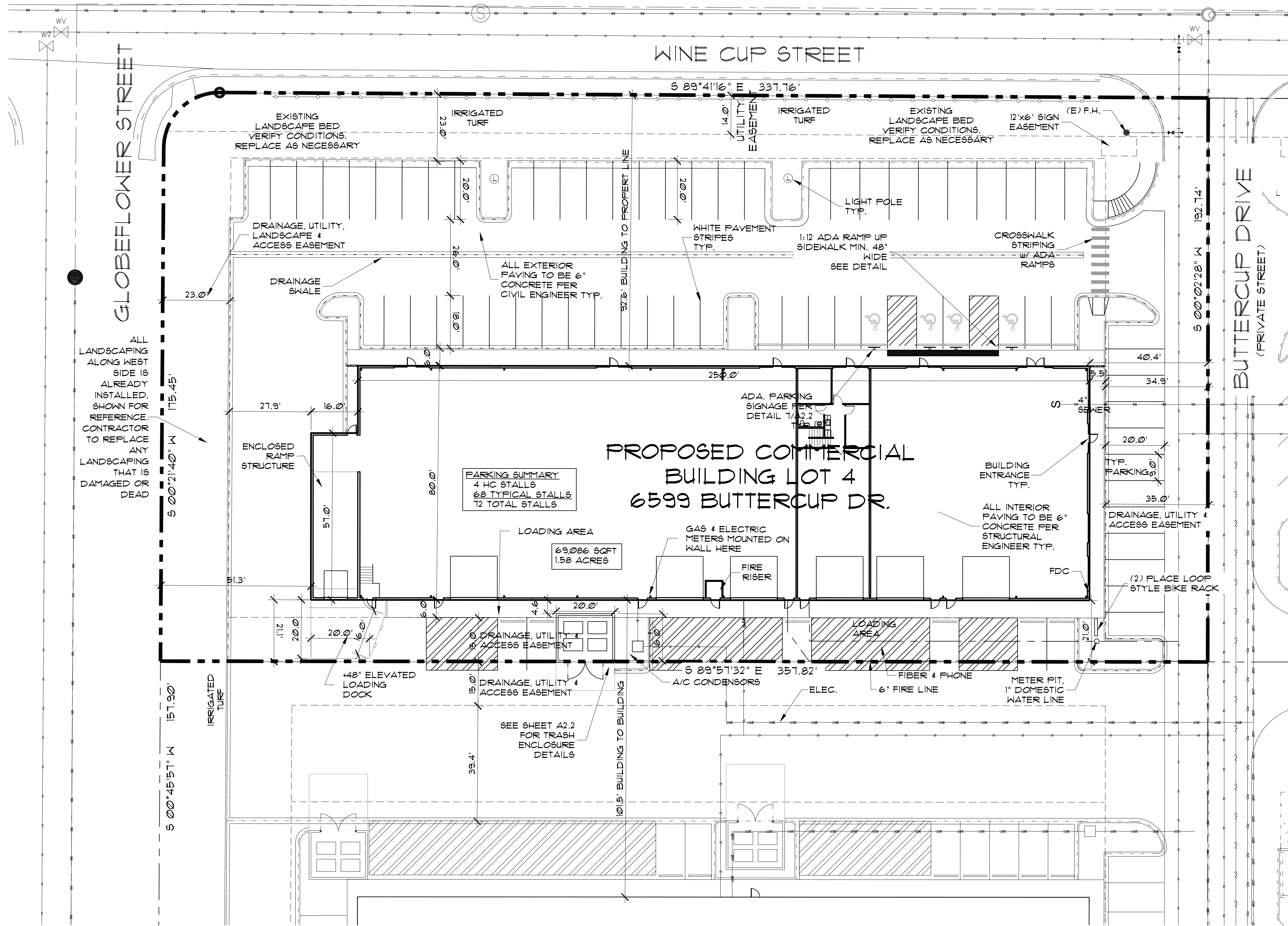
AMENDED SITE PLAN FOR:
6599 Buttercup Drive
Lot 4
Colorado
Wellington

3/1/2023
3/31/2023

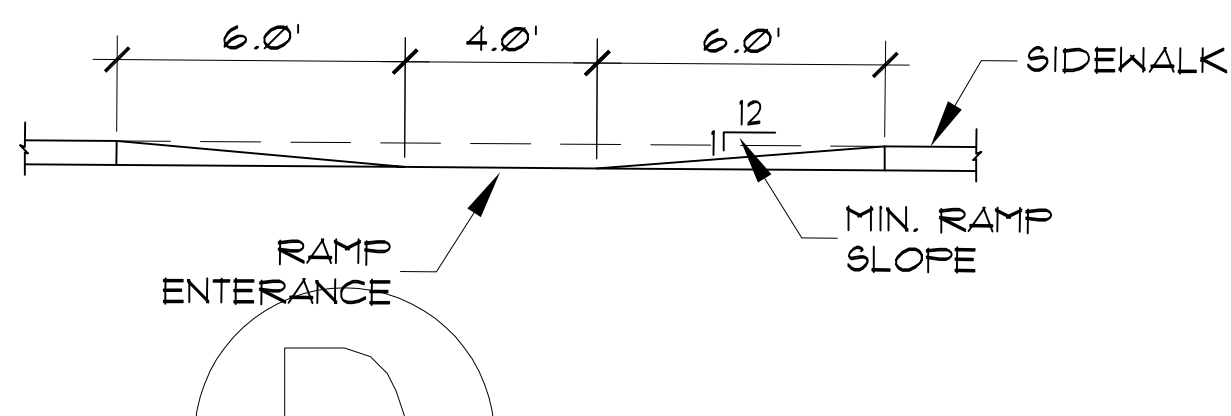
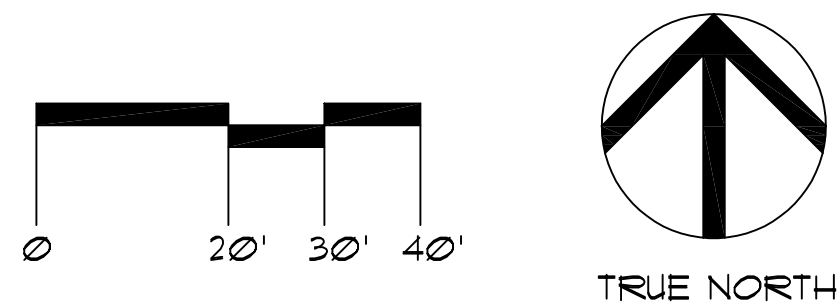
PLAN RELEASE HISTORY
PRE-APP MEETING
ISSUED FOR AMENDED SITE PLAN REVIEW
ISSUED FOR SITE DEVELOPMENT REVIEW #2
ISSUED FOR SITE DEVELOPMENT PERMIT

NOTE: THIS SET IS NULL & VOID
SHOULD SHIT, ALO OR THE COVER
SHIT, BE OMITTED FROM THIS SET.

sheet
A1.0



1 ENLARGED SITE PLAN
1" = 20'-0"



2 RAMP DETAIL
3" = 1'-0"

SITE NOTES

1. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE AS REQUIRED BY LOCAL STANDARDS TO AN APPROVED RECEPTOR OR EQ.
2. CONTRACTOR TO VERIFY HORIZONTAL PLACEMENT AND FINISH FLOOR ELEVATIONS WITH OWNER AND ARCHITECT PRIOR TO EXCAVATIONS.
3. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK. SHOULD ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR, NOTIFY THE ARCHITECT IMMEDIATELY.
4. WHERE DRAINS OCCUR THE DRAIN SHALL BE RUN TO DAYLIGHT WITH A SLOPE OF AT LEAST 1/4" PLF. AS AN ALTERNATIVE, THE DRAIN MAY BE RUN TO A PUMP. THEN PUMPED AWAY FROM THE FOUNDATION.
5. SITE PLAN DRAWING IS BASED UPON DRAWINGS PROVIDED BY NORTHERN ENGINEERING DATED 10/21/2015
6. ALL MATERIALS TO BE DISPOSED OF OFF-SITE ARE TO BE DISPOSED OF IN A LAWFUL LANDFILL AND IN ACCORDANCE WITH GOVERNMENT REQUIREMENTS.
7. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
8. ALL PROPOSED PAVING & IMPROVEMENTS SHALL MEET AND MATCH EXISTING PAVING.

LEGAL DISCRIPTION

WELLINGTON BUSINESS CENTER, LOT 4, OUTLOTS E-1 & E-2, COLUMBINE ESTATES MINOR SUBDIVISION & OUTLOT D, COLUMBINE ESTATES, TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO

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05-03-2023
drawn
checked
job no.

date
drawn
checked
job no.

sheet
A2.1

New Building for:

**WELLINGTON
BUSINESS CENTER**

LOT 4, 6599 Buttercup Drive

WELLINGTON

COLORADO

(9 7 0) 6 6 3 - 0 5 4 8

REVISIONS

Kenney Lee
architecture group, inc.

NOTICE: DUTY OF COOPERATION - Release of these plans constitutes full cooperation among the owner, the architect, and the contractor. Design and construction are complete. Although the architect and his consultants have performed their services with due care and all license laws, they cannot guarantee perfection. Communication is required for the architect to be kept informed of all changes. Changes made from the plans without the consent of the architect are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes. This set is null & void should any part of the cover sheet be omitted from this set.

Civil Construction Plans for
Wellington Business Center, Lot 4

A REPLAT OF OUTLOT D, COLUMBINE ESTATES AND OUTLOTS E-1 AND E-2, MINOR SUBDIVISION
SITUATE IN THE NE/4 SECTION 9, TOWNSHIP 8NORTH, RANGE 68WEST OF THE 6TH P.M.
TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO

Cover Sheet

Project Benchmarks

BENCHMARK #1:
U.S.G.S BENCH MARK # R-356, 3 1/4" BRASS CAP IN CONCRETE BASE, LOCATED 50± WEST OF THE NW CORNER OF SECTION 34, T9N, R68W, ELEVATION 5229.70 NAVD 88 DATUM

BENCHMARK #2:
ALUMINUM CAP IN CONCRETE BASE @ NE CORNER OF HWY 1/CR 58, AT THE LARGE CURVE GOING NORTH.
ELEVATION= 5158.71 NAVD 88 DATUM

Basis of Bearing

ALL LINES ARE RELATIVE TO THE NORTH LINE OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 8 NORTH, RANGE 68 WEST OF THE 6TH P.M. WHICH BEARS S89°41'16"E.

CONTROL POINT #1:
#4 REBAR WITH NE CONTROL CAP AT NW CORNER OF FRONTAGE RD. AND CLINTON AVE. NE OF VINYL FENCE AROUND GAS STRUCTURE ON COLUMBINE SITE.
N:17442.121 E:19668.081

CONTROL POINT #2:
#4 REBAR WITH NE CONTROL CAP AT SE CORNER OF 3RD ST. AND CORNFLOWER ST. ON THE COLUMBINE SITE.
N:18685.592 E:18658.199

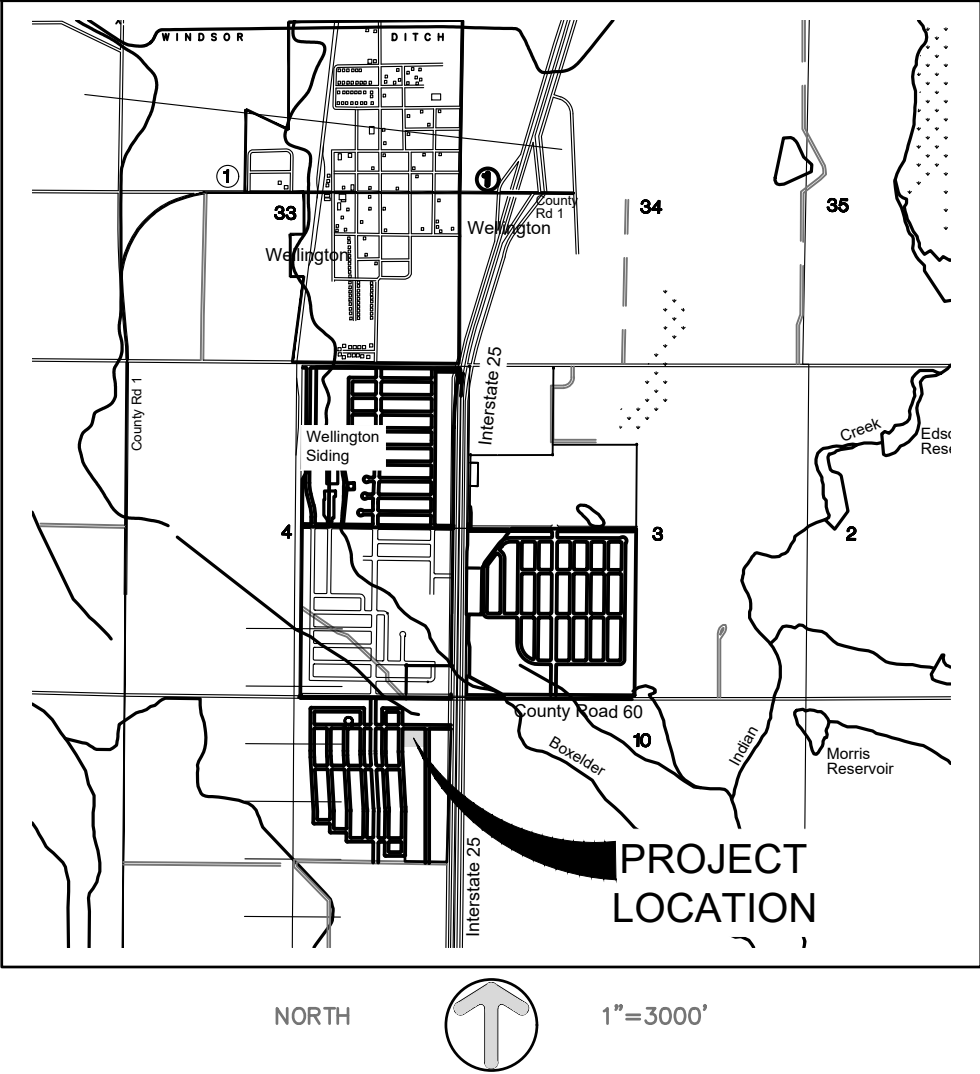
CONTROL POINT #3:
#4 REBAR WITH NE CONTROL CAP E OF 3RD ST. N OF MOUNT FLORA ST. AND S OF MOUNT HOPE ST. ON KNOOLS SITE.
N:20386.165 E:19016.327

Contact Information

Project Team

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- Integrity Land Group, LLC | Owner
2880 State Route 45, Salem OH, 44460
303.332.9940
- Ron Perkins Land Surveyor | Surveyor
305 West Magnolia Street, PMB 381, Fort Collins, CO 80521
970.224.4843

Vicinity Map



Sheet Index

No.	Description
1	Cover Sheet
2	General Notes
3	Existing Topography & Demolition
4	Site & Utility Plan
5	Grading & Erosion Control
6	Utility Details
7	Utility Details
8	Erosion Control Details

Disclaimer Statement

These plans have been reviewed by the Town of Wellington for concept only. The review does not imply responsibility by the reviewing department, the Town of Wellington Engineer, or the Town of Wellington for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the Town of Wellington for additional quantities of items shown that may be required during the construction phase.

Certification Statement

I hereby affirm that these final construction plans were prepared under my direct supervision, in accordance with all applicable Town of Wellington and State of Colorado standards and statutes, respectively; and that I am fully responsible for the accuracy of all design, revisions, and record conditions that I have noted on these plans.



TOWN OF WELLINGTON DRAWING APPROVAL	
REVIEW IS FOR GENERAL COMPLIANCE WITH TOWN STANDARDS. NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DESIGN.	
DATE _____ BY _____	TOWN CLERK
DATE _____ BY _____	TOWN ENGINEER

A. GENERAL NOTES

- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE TOWN OF WELLINGTON (TOWN) STANDARDS AND SPECIFICATIONS (STANDARDS) AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- ALL WORK SHALL BE INSPECTED AND APPROVED BY THE TOWN. THE DEVELOPER SHALL PROVIDE THE TOWN A MINIMUM OF 24-HOURS NOTICE IN ADVANCE OF ANY CONSTRUCTION.
 - IF THE TOWN IS NOT AVAILABLE AFTER PROPER NOTICE OF THE CONSTRUCTION ACTIVITY HAS BEEN PROVIDED (SEE GENERAL NOTE 3), THE DEVELOPER MAY COMMENCE WORK IN THE TOWN'S ABSENCE. HOWEVER, THE TOWN RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- THESE PUBLIC IMPROVEMENT CONSTRUCTION PLANS SHALL BE VALID FOR A PERIOD OF THREE (3) YEARS FROM THE DATE OF APPROVAL BY THE TOWN. USE OF THESE PLANS AFTER THE EXPIRATION DATE WILL REQUIRE A NEW REVIEW AND APPROVAL PROCESS BY THE TOWN PRIOR TO COMMENCEMENT OF ANY WORK SHOWN IN THESE PLANS.
- THE ENGINEER WHO HAS PREPARED THESE PLANS, BY EXECUTION AND OR SEAL HEREOF, DOES HEREBY AFFIRM RESPONSIBILITY TO THE TOWN AS BENEFICIARY OF SAID ENGINEER'S WORK, FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS BY THE TOWN SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ALL SUCH RESPONSIBILITY. FURTHER, TO THE EXTENT PERMITTED BY LAW, THE ENGINEER HEREBY AGREES TO HOLD HARMLESS AND INDEMNIFY THE TOWN, AND ITS OFFICERS AND EMPLOYEES, FROM AND AGAINST ALL LIABILITIES, CLAIMS, AND DEMANDS WHICH MAY ARISE FROM ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS.
- ALL SANITARY SEWER, STORM SEWER, AND WATER LINE CONSTRUCTION, AS WELL AS POWER AND OTHER "DRY" UTILITY INSTALLATIONS, SHALL CONFORM TO THE TOWN STANDARDS CURRENT AT THE TIME OF CONSTRUCTION.
- THE TYPE, SIZE, LOCATION, AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE PLANS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES IF ENCOUNTERED. THE DEVELOPER SHALL BE RESPONSIBLE FOR IDENTIFYING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
 - THE DEVELOPER SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR GRADING, TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED.
 - OTHER UNREGISTERED UTILITY ENTITIES (I.E. DITCH IRRIGATION COMPANY) ARE TO BE LOCATED BY CONTACTING THE REPRESENTATIVE.
 - UTILITY SERVICE LATERALS ARE ALSO TO BE LOCATED PRIOR TO BEGINNING EXCAVATION OR GRADING.
 - IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- EXISTING OVERHEAD UTILITIES ALONG THE ENTIRE PERIMETER OF THE PROPERTY OR WITHIN THE PROJECT SITE SHALL BE UNDERGROUNDED UNLESS OTHERWISE AGREED IN WRITING BY THE TOWN.
- IF A CONFLICT EXISTS BETWEEN EXISTING AND PROPOSED UTILITIES AND/OR A DESIGN MODIFICATION IS REQUIRED, THE DEVELOPER SHALL COORDINATE WITH THE TOWN TO MODIFY THE DESIGN. DESIGN MODIFICATIONS MUST BE APPROVED BY THE TOWN PRIOR TO BEGINNING CONSTRUCTION OF MODIFICATIONS.
- THE DEVELOPER SHALL COORDINATE AND COOPERATE WITH THE TOWN, AND ALL UTILITY COMPANIES INVOLVED, TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
- A STATE CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DEWATERING IS REQUIRED TO INSTALL UTILITIES OR IF WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
- THE DEVELOPER SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO PERMIT FOR STORM WATER DISCHARGE (CONTACT COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, (303) 692-3590)
- THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING SOILS TESTS WITHIN THE PUBLIC RIGHT-OF-WAY AFTER RIGHT OF WAY GRADING AND ALL UTILITY TRENCH WORK IS COMPLETE AND PRIOR TO THE PLACEMENT OF CURB, GUTTER, SIDEWALK, AND PAVEMENT. IF THE FINAL SOILS PAVEMENT DESIGN REPORT DOES NOT CORRESPOND WITH THE RESULTS OF THE ORIGINAL GEOTECHNICAL REPORT, THE DEVELOPER SHALL BE RESPONSIBLE FOR A RE-DESIGN OF THE SUBJECT PAVEMENT SECTION. REGARDLESS OF THE OPTION USED, THE COLORADO LICENSED PROFESSIONAL ENGINEER SHALL PREPARE ALL FINAL SOILS PAVEMENT DESIGN REPORTS. THE FINAL REPORT SHALL BE SUBMITTED TO THE TOWN ENGINEER A MINIMUM OF 10 WORKING DAYS PRIOR TO PLACEMENT OF BASE AND ASPHALT. PLACEMENT OF CURB, GUTTER, SIDEWALK, BASE AND ASPHALT SHALL NOT OCCUR UNTIL THE TOWN APPROVES THE FINAL REPORT.
- ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OF NEW TOWN ROADS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION. FOR THE PURPOSES OF THESE STANDARDS, ANY WORK ABOVE THE SUBGRADE IS CONSIDERED FINAL STAGE WORK. ALL SERVICE LINES MUST BE STUBBED TO THE PROPERTY LINES AND MARKED TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY. REFER TO THE MOST RECENT OSHA PUBLICATION FOR EXCAVATING AND TRENCHING.
- THE DEVELOPER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH M.U.T.C.D., TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (THE TOWN, LARIMER COUNTY, OR CDOT), FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION THAT WILL AFFECT TRAFFIC SIGN(S) OF ANY TYPE, THE CONTRACTOR SHALL CONTACT THE TOWN, WHO WILL TEMPORARILY REMOVE OR RELOCATE THE SIGN(S) AT NO COST TO THE CONTRACTOR. HOWEVER, IF THE CONTRACTOR MOVES THE TRAFFIC SIGN(S) THEN THE CONTRACTOR WILL BE CHARGED FOR THE LABOR, MATERIALS, AND EQUIPMENT TO REINSTALL THE SIGN AS NEEDED.
- THE DEVELOPER IS RESPONSIBLE FOR ALL COSTS FOR THE INITIAL INSTALLATION OF TRAFFIC SIGNING AND STRIPING FOR THE DEVELOPMENT RELATED TO THE DEVELOPMENT'S LOCAL STREET OPERATIONS. IN ADDITION, THE DEVELOPER IS RESPONSIBLE FOR ALL COSTS FOR TRAFFIC SIGNING AND STRIPING RELATED TO DIRECTING TRAFFIC ACCESS TO AND FROM THE DEVELOPMENT.
- THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS, SUNDAYS, OR HOLIDAY, UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE TOWN.
- THE DEVELOPER IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE PLANS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE AND APPROVED BY THE TOWN.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY PLANS. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE OWNERS ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD PLANS.
- THE DEVELOPER SHALL ALWAYS HAVE ONSITE, ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.

- IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE DEVELOPER SHALL CONTACT THE TOWN IMMEDIATELY.
 - THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD PLANS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE TOWN AT ALL TIMES. UPON COMPLETION OF THE WORK, THE DEVELOPER SHALL HAVE THEIR ENGINEER TRANSFER FIELD INFORMATION TO A FINAL SET OF PLANS AND SHALL SUBMIT THE RECORD PLANS TO THE TOWN IN BOTH ELECTRONIC AND HARDCOPY FORMATS.
 - THE ENGINEER SHALL PROVIDE, IN THIS LOCATION ON THE PLAN, THE LOCATION AND DESCRIPTION OF THE NEAREST SURVEY BENCHMARKS (3) FOR THE PROJECT AS WELL AS THE BASIS OF BEARINGS TIED TO THREE (3) CONTROL POINTS. THE INFORMATION SHALL BE AS FOLLOWS:

BENCHMARK #1:
U.S.G.S BENCH MARK # R-356, 3 1/2" BRASS CAP IN CONCRETE BASE, LOCATED 50' WEST OF THE NW CORNER OF SECTION 34, T9N, R68W, ELEVATION 5229.70 NAVD 88 DATUM

BENCHMARK #2:
ALUMINUM CAP IN CONCRETE BASE @ NE CORNER OF HWY 1/CR 58, AT THE LARGE CURVE GOING NORTH.
Elevation= 5158.71 NAVD 88 DATUM

Basis of Bearings
West line of the Southwest Quarter of Section 4-8-68 as bearing N 00°35'48" E.
 - DAMAGED CURB, GUTTER, AND SIDEWALK WITHIN THE PROJECT WORK AREA EXISTING PRIOR TO CONSTRUCTION SHALL BE REPLACED OR RESTORED AS DIRECTED BY THE TOWN. EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, IRRIGATION SYSTEMS, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE DEVELOPER'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS AND APPROVED BY THE TOWN. PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS.
 - UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS.
 - N/A
 - N/A
 - ALL RECOMMENDATIONS OF THE FINAL DRAINAGE REPORT FOR WELLINGTON BUSINESS CENTER DATED JULY 31, 2015 BY NORTHERN ENGINEERING AND THE Drainage Memo for the Wellington Business Center, dated 2023.05.08 by OMBRE civil engineering, SHALL BE FOLLOWED AND IMPLEMENTED.
 - THE TOWN SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF STORM DRAINAGE FACILITIES LOCATED ON PRIVATE PROPERTY. MAINTENANCE OF ONSITE DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S).
 - PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE TOWN, CERTIFICATION OF THE DRAINAGE FACILITIES BY A COLORADO REGISTERED ENGINEER MUST BE SUBMITTED TO AND APPROVED BY THE TOWN. CERTIFICATION SHALL BE SUBMITTED TO THE TOWN AT LEAST TWO (2) WEEKS PRIOR TO THE RELEASE OF A CERTIFICATE OF OCCUPANCY.
 - AFTER ACCEPTANCE BY THE TOWN, PUBLIC IMPROVEMENTS DEPICTED IN THESE PLANS SHALL BE GUARANTEED TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A MINIMUM PERIOD OF TWO (2) YEARS FROM THE DATE OF CONSTRUCTION ACCEPTANCE.
- CONSTRUCTION NOTES
- GRADING AND EROSION CONTROL NOTES
- THE TOWN MUST BE NOTIFIED AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO ANY CONSTRUCTION ON THE SITE.
 - THERE SHALL BE NO EARTH-DISTURBING ACTIVITY OUTSIDE THE LIMITS DESIGNATED ON THE ACCEPTED PLANS.
 - TEMPORARY EROSION CONTROL DURING CONSTRUCTION SHALL BE PROVIDED AS SHOWN ON THE EROSION CONTROL PLAN. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE DEVELOPER, UNTIL THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED WITHIN TWENTY-FOUR (24) HOURS BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE TOWN.
 - ALL REQUIRED PERIMETER SILT AND CONSTRUCTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY (STOCKPILING, STRIPPING, GRADING, ETC.). ALL OTHER REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE APPROPRIATE TIME IN THE CONSTRUCTION SEQUENCE AS INDICATED IN THE APPROVED PROJECT SCHEDULE, CONSTRUCTION PLANS, AND EROSION CONTROL REPORT.
 - AT ALL TIMES DURING CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ON-SITE EROSION INCLUDING KEEPING THE PROPERTY SUFFICIENTLY WATERED TO MINIMIZE WIND-BLOWN SEDIMENT. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL FACILITIES SHOWN HEREIN.
 - PRE-DISTURBANCE VEGETATION SHALL BE PROTECTED AND RETAINED WHEREVER POSSIBLE. REMOVAL OR DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO THE AREAS REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS, AND FOR THE SHORTEST PRACTICAL TIME.
 - ALL SOILS EXPOSED DURING LAND DISTURBING ACTIVITY (STRIPPING, GRADING, UTILITY INSTALLATIONS, FILLING, ETC.) SHALL BE KEPT IN A ROUGHENED CONDITION BY RIPPING OR DISKING ALONG LAND CONTOURS UNTIL MULCH, VEGETATION, OR OTHER PERMANENT EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP) ARE INSTALLED. NO SOILS IN AREAS OUTSIDE PROJECT STREET RIGHTS-OF-WAY SHALL REMAIN EXPOSED BY LAND DISTURBING ACTIVITY FOR MORE THAN THIRTY (30) DAYS BEFORE REQUIRED TEMPORARY OR PERMANENT EROSION CONTROL (E.G. SEED MULCH, LANDSCAPING, ETC.) IS INSTALLED, UNLESS OTHERWISE APPROVED BY THE TOWN.
 - TO MINIMIZE EROSION POTENTIAL, ALL TEMPORARY (STRUCTURAL) EROSION CONTROL MEASURES SHALL:
 - BE INSPECTED AT A MINIMUM OF ONCE EVERY TWO (2) WEEKS AND AFTER EACH SIGNIFICANT STORM EVENT AND REPAIRED OR RECONSTRUCTED AS NECESSARY TO ENSURE THE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
 - REMAIN IN PLACE UNTIL ALL THE SURROUNDING DISTURBED AREAS ARE SUFFICIENTLY STABILIZED AS DETERMINED BY THE TOWN OR THEIR DESIGNATED REPRESENTATIVE.
 - BE REMOVED AFTER THE SITE HAS BEEN SUFFICIENTLY STABILIZED AS DETERMINED BY THE TOWN OR THEIR DESIGNATED REPRESENTATIVE.
 - WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEAN-UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES.
 - THE CONTRACTOR SHALL IMMEDIATELY CLEAN UP ANY CONSTRUCTION MATERIALS INADVERTENTLY DEPOSITED ON EXISTING STREETS, SIDEWALKS, OR OTHER PUBLIC RIGHTS OF WAY, AND MAKE SURE STREETS AND WALKWAYS ARE CLEANED AT THE END OF EACH WORK DAY.
 - ALL RETAINED SEDIMENTS, PARTICULARLY THOSE ON PAVED ROADWAY SURFACES, SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION SO AS NOT TO CAUSE THEIR RELEASE INTO ANY WATERS OF THE UNITED STATES.
 - NO SOIL STOCKPILE SHALL EXCEED TEN (10) FEET IN HEIGHT. ALL SOIL STOCKPILES SHALL BE PROTECTED FROM SEDIMENT TRANSPORT BY SURFACE ROUGHENING, WATERING, AND PERIMETER SILT FENCING. ANY SOIL STOCKPILE REMAINING AFTER THIRTY (30) DAYS SHALL BE SEEDED AND MULCHED.
 - THE STORMWATER VOLUME CAPACITY OF DETENTION PONDS WILL BE RESTORED AND

STORM SEWER LINES WILL BE CLEANED UPON COMPLETION OF THE PROJECT AND BEFORE TURNING THE MAINTENANCE OVER TO THE TOWN OR HOMEOWNERS ASSOCIATION (HOA).

- COLORADO DISCHARGE PERMIT SYSTEM (CDPS) REQUIREMENTS MAKE IT UNLAWFUL TO DISCHARGE OR ALLOW THE DISCHARGE OF ANY POLLUTANT OR CONTAMINATED WATER FROM CONSTRUCTION SITES. POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, OIL AND GAS PRODUCTS, LITTER, AND SANITARY WASTE. THE DEVELOPER SHALL ALWAYS TAKE WHATEVER MEASURES ARE NECESSARY TO ASSURE THE PROPER CONTAINMENT AND DISPOSAL OF POLLUTANTS ON THE SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- A DESIGNATED AREA SHALL BE PROVIDED ON SITE FOR CONCRETE TRUCK CHUTE WASHOUT. THE AREA SHALL BE CONSTRUCTED TO CONTAIN WASHOUT MATERIAL AND LOCATED AT LEAST FIFTY (50) FEET AWAY FROM ANY WATERWAY DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, THE CONCRETE WASHOUT MATERIAL WILL BE REMOVED AND PROPERLY DISPOSED OF PRIOR TO THE AREA BEING RESTORED.
- CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS. THE DEVELOPER SHALL IMPLEMENT WHATEVER MEASURES ARE DETERMINED NECESSARY AS DIRECTED BY THE TOWN.
- ALL DISTURBED AREAS, NOT IN A ROADWAY, SHALL BE SEEDED AND MULCHED AS SOON AS POSSIBLE USING THE APPLICABLE SEED MIXTURE SPECIFIED ON THE PLANS.

SANITARY SEWER CONSTRUCTION NOTES

- SEWER LINE DIMENSIONS AND SLOPES/GRADES ARE CALCULATED TO THE CENTER OF MANHOLES.
- ALL SEWER LINES SHALL BE AS FOLLOWS:
 - 4" THROUGH 15", ASTM D3034 SDR 35 TYPE PSM;
 - 18" THROUGH 27", ASTM F-679 SDR 35, TYPE PSM,
- MANHOLE RIM ELEVATIONS ARE TO BE ADJUSTED TO 1/4" BELOW FINISHED GRADE. ONLY SMOOTH LIDS ARE ALLOWED (I.E. NO KNOBS OR RAISED PATTERNS).
- SINGLE FAMILY SEWER SERVICES SHALL BE 4-INCH DIAMETER WITH A MINIMUM SLOPE OF TWO (2%) PERCENT (0.02 FT./FT.)
- MAINTAIN 10' MINIMUM SEPARATION (I.E. WALL TO WALL) BETWEEN ALL SANITARY SEWER & WATER MAINS & SERVICES.
- SERVICES CAN BE CONNECTED INTO MANHOLES ONLY IF MANHOLES ARE PRECAST WITH MANHOLE TO PIPE CONNECTORS CAST IN MANHOLE AT THE TIME OF MANUFACTURING. OTHERWISE CONNECT SERVICE DIRECTLY TO SANITARY SEWER MAIN.
- PLACE GROUNDWATER BARRIERS IN THE FOLLOWING LOCATIONS:
 - 10- FEET DOWNSTREAM OF EACH SANITARY MANHOLE.
- SEWER SERVICES SHALL BE EXTENDED TO A POINT 1-FOOT INSIDE THE UTILITY EASEMENTS. SEE UTILITY PLANS.
- CONCRETE COLLARS SHALL BE INSTALLED AROUND ALL MANHOLE LIDS IN ACCORDANCE WITH THE TOWN DETAIL.
- MANHOLE LIDS SHALL HAVE "SEWER" CAST IN THE METAL.
- A "S" SHALL BE STAMPED IN THE CURB OVER ALL SANITARY SEWER SERVICE LINES.

WATER CONSTRUCTION NOTES

- ALL WATER DISTRIBUTION MAINS SHALL BE AS FOLLOWS:
 - 8 to 48-INCH AWWA C900 PVC DR 18.
- ALL WATER FITTINGS AND VALVES ARE ONLY GRAPHICALLY REPRESENTED AND ARE NOT TO SCALE.
- ALL DUCTILE IRON PIPE, FITTINGS, VALVES, AND METALLIC APPURTENANCES SHALL BE POLYETHYLENE WRAPPED.
- ALL FITTINGS AND MECHANICAL JOINTS SHALL BE INSTALLED WITH RESTRAINED JOINT GLANDS.
- ONLY TOWN PERSONNEL SHALL OPERATE EXISTING WATER SYSTEM VALVES AND FIRE HYDRANTS.
- IN LOCATIONS WHERE CHANGES IN LINE AND GRADE ARE PRODUCED THROUGH DEFLECTIONS IN INDIVIDUAL JOINTS, THE MAXIMUM ALLOWABLE DEFLECTION SHALL BE 80 PERCENT OF THE MANUFACTURER'S RECOMMENDATION.
- ALL WATER SERVICES SHALL BE A MINIMUM OF 3/4-INCH UNLESS OTHERWISE SHOWN ON THE APPROVED PLANS.
- THE MINIMUM COVER OVER WATER LINES IS 4.5 FEET AND THE MAXIMUM COVER IS 5.5 FEET UNLESS OTHERWISE NOTED IN THE PLANS AND APPROVED BY THE TOWN.
- WATER MAINS SHALL BE PVC WITH TRACER WIRE UNLESS OTHERWISE APPROVED BY THE TOWN.
- WATER SERVICES SHALL BE EXTENDED TO A POINT 1-FOOT INSIDE THE UTILITY EASEMENTS. SEE UTILITY PLANS.
- CONCRETE COLLARS SHALL BE INSTALLED AROUND ALL VALVE BOXES IN ACCORDANCE WITH THE TOWN DETAIL.
- VALVE BOX LIDS SHALL HAVE "WATER" CAST IN THE METAL. LID ELEVATIONS ARE TO BE ADJUSTED TO 1/4" BELOW FINISHED GRADE. ONLY SMOOTH LIDS ARE ALLOWED (I.E. NO KNOBS OR RAISED PATTERNS).
- A "W" SHALL BE STAMPED IN THE CURB OVER ALL WATER SERVICE LINES.
- PLACE GROUNDWATER BARRIERS IN THE FOLLOWING LOCATIONS:
 - AT FOUR HUNDRED (400) SPACING.

STORM DRAINAGE CONSTRUCTION NOTES

- PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE TOWN, CERTIFICATION OF THE DRAINAGE FACILITIES, BY A REGISTERED ENGINEER, MUST BE SUBMITTED TO AND ACCEPTED BY THE TOWN INCLUDING:
 - DETENTION POND STORAGE VOLUME AND OUTLET STRUCTURE RATING CURVE
- PLACE GROUNDWATER BARRIERS IN THE FOLLOWING LOCATIONS:
 - 10- FEET DOWNSTREAM OF EACH STORM SEWER MANHOLE
- CONCRETE COLLARS SHALL BE INSTALLED AROUND ALL MANHOLE LIDS IN ACCORDANCE WITH THE TOWN DETAIL.
- MANHOLE LIDS SHALL HAVE "STORM" CAST IN THE METAL.
- MANHOLE RIM ELEVATIONS ARE TO BE ADJUSTED TO 1/4" BELOW FINISHED GRADE. ONLY SMOOTH LIDS ARE ALLOWED (I.E. NO KNOBS OR RAISED PATTERNS).

STREET IMPROVEMENT NOTES

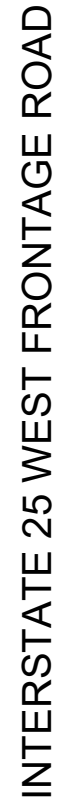
- A PAVING SECTION DESIGN, SIGNED AND STAMPED BY A COLORADO LICENSED ENGINEER, MUST BE SUBMITTED TO THE TOWN FOR ACCEPTANCE, PRIOR TO ANY STREET CONSTRUCTION ACTIVITY. (FULL DEPTH ASPHALT SECTIONS ARE NOT PERMITTED AT A DEPTH GREATER THAN 8 INCHES OF ASPHALT). THE JOB MIX SHALL BE SUBMITTED FOR ACCEPTANCE BY THE TOWN PRIOR TO PLACEMENT OF ANY ASPHALT.
- WHERE PROPOSED PAVING ADJOINS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT, A MINIMUM DISTANCE OF 12 INCHES FROM THE EXISTING EDGE TO CREATE A STRAIGHT AND CLEAN CONSTRUCTION JOINT. WHEEL CUTS SHALL NOT BE

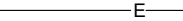
ALLOWED.

- STREET SUBGRADES SHALL BE SCARIFIED TO THE TOP TWELVE (12) INCHES AND RE-COMPACTED PRIOR TO SUBBASE INSTALLATION. NO BASE MATERIAL SHALL BE LAID UNTIL THE SUBGRADE HAS BEEN INSPECTED, PROOF ROLLED, AND APPROVED BY THE TOWN.
 - FLYASH IS REQUIRED TO BE MIXED INTO THE SUBBASE ON ALL NEW STREETS IN ACCORDANCE WITH THE TOWN STANDARDS AND SPECIFICATIONS.
 - WHEN AN EXISTING ASPHALT STREET MUST BE CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE TOWN BEFORE ANY CUTS ARE MADE. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. THE DETERMINATION OF NEED FOR A COMPLETE OVERLAY SHALL BE MADE BY THE TOWN. ALL OVERLAY WORK SHALL BE COORDINATED WITH ADJACENT LANDOWNERS SUCH THAT FUTURE PROJECTS DO NOT CUT THE NEW ASPHALT OVERLAY WORK.
 - THE DEVELOPER IS REQUIRED TO PERFORM A GUTTER WATER FLOW TEST IN THE PRESENCE OF THE TOWN. GUTTERS THAT HOLD MORE THAN 1/4-INCH-DEEP OR 5 FEET LONGITUDINALLY, OF WATER, SHALL BE COMPLETELY REMOVED TO THE NEAREST CONTROL JOINT AND RECONSTRUCTED TO DRAIN PROPERLY.
 - CRACK SEAL ALONG ALL NEW AND EXISTING CURB AND GUTTER WITHIN THE SUBDIVISION AFTER COMPLETION OF THE PAVING AND BEFORE THE END OF THE WARRANTY PERIOD.
- TRAFFIC SIGNING AND PAVEMENT MARKING CONSTRUCTION NOTES
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THESE PLANS OR AS OTHERWISE SPECIFIED IN M.U.T.C.D. (INCLUDING COLORADO SUPPLEMENT) AND THE TRAFFIC CONTROL PLAN.
 - ALL SYMBOLS, INCLUDING ARROWS, CROSSWALKS, STOP BARS, ETC. SHALL BE PRE-FORMED THERMO-PLASTIC. APPLICATIONS SHALL BE AS SPECIFIED IN THESE PLANS AND OR THESE STANDARDS.
 - ALL SIGNAGE SHALL BE PER THE TOWN STANDARDS AND THESE PLANS OR AS OTHERWISE SPECIFIED IN M.U.T.C.D.
 - ALL LANE LINES FOR ASPHALT PAVEMENT SHALL RECEIVE TWO COATS OF LATEX PAINT WITH GLASS BEADS.
 - ALL LANE LINES FOR CONCRETE PAVEMENT SHALL BE EPOXY PAINT.
 - PRIOR TO PERMANENT INSTALLATION OF TRAFFIC STRIPING AND SYMBOLS, THE DEVELOPER SHALL PLACE TEMPORARY TABS OR TAPE DEPICTING ALIGNMENT AND PLACEMENT OF THE SAME. THE TOWN SHALL APPROVE THEIR PLACEMENT PRIOR TO PERMANENT INSTALLATION OF STRIPING AND SYMBOLS.
 - EPOXY APPLICATIONS SHALL BE APPLIED AS SPECIFIED IN CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - ALL SURFACES SHALL BE THOROUGHLY CLEANED PRIOR TO INSTALLATION OF STRIPING OR MARKINGS.
 - ALL SIGNPOSTS SHALL UTILIZE BREAK-AWAY ASSEMBLIES AND FASTENERS PER THE STANDARDS.
 - A FIELD INSPECTION OF LOCATION AND INSTALLATION OF ALL SIGNS SHALL BE PERFORMED BY THE TOWN OR THEIR DESIGNATE. ALL DISCREPANCIES IDENTIFIED DURING THE FIELD INSPECTION MUST BE CORRECTED BEFORE THE TWO (2) YEAR WARRANTY PERIOD WILL BEGIN.
 - THE DEVELOPER INSTALLING SIGNS SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES.
 - SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATION TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
 - SIGNAGE AND STRIPING HAS BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW. PRIOR TO INITIATION OF THE WARRANTY PERIOD, THE TOWN RESERVES THE RIGHT TO REQUIRE ADDITIONAL SIGNAGE AND/OR STRIPING IF THE TOWN DETERMINES THAT AN UNFORESEEN CONDITION WARRANTS SUCH SIGNAGE PER THE M.U.T.C.D. OR THE CDOT M AND S STANDARDS.
 - ALL SIGNAGE AND STRIPING SHALL FALL UNDER THE REQUIREMENTS OF THE TWO (2) YEAR WARRANTY PERIOD FOR NEW CONSTRUCTION (EXCEPT FAIR WEAR ON TRAFFIC MARKINGS).
 - SLEEVES FOR SIGNPOSTS SHALL BE REQUIRED FOR USE IN ISLAND MEDIANS.

DRY UTILITY CONSTRUCTION NOTES

- ALL NEW DRY UTILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH TOWN AND UTILITY PROVIDER STANDARDS. THE DEVELOPER SHALL PROVIDE A CONDUIT PLAN TO THE TOWN FOR APPROVAL BEFORE INSTALLING.
- EXISTING OVERHEAD ELECTRIC ALONG THE PERIMETER OF THE PROPERTY SHALL BE UNDERGROUNDED AS PART OF THE CONSTRUCTION AT NO COST TO THE TOWN.
- STREET LIGHT LAYOUTS SHALL BE PROVIDED TO THE TOWN FOR APPROVAL PRIOR TO INSTALLATION. INSTALLATION SHALL NOT COMMENCE UNTIL APPROVED IN WRITING BY THE TOWN OF WELLINGTON.
- DEVELOPER IS RESPONSIBLE FOR THE COST OF THE DRY UTILITY AND STREET LIGHT INSTALLATION FOR THE PROJECT.



- | | |
|---|---|
| Project Boundary |  |
| Existing Right-of-Way |  |
| Existing Major Contour |  |
| Existing Minor Contour |  |
| Existing Storm Sewer |  |
| Existing Telephone |  |
| Existing Gas Line |  |
| Existing Sanitary Sewer |  |
| Existing Water Main |  |
| Existing Electric |  |
| Existing Fibre Optic |  |
| Existing Cable |  |
| Existing Overhead Utility |  |
| Existing Fence |  |
| Existing Vault |  |
| Existing Fire Hydrant |  |
| Existing Irrigation Box |  |
| Existing Water Meter |  |
| Existing Gas Meter |  |
| Existing Telephone Pedestal |  |
| Existing Trees (to remain) |   |
| Existing Concrete Removal & Replacement |  |

Notes

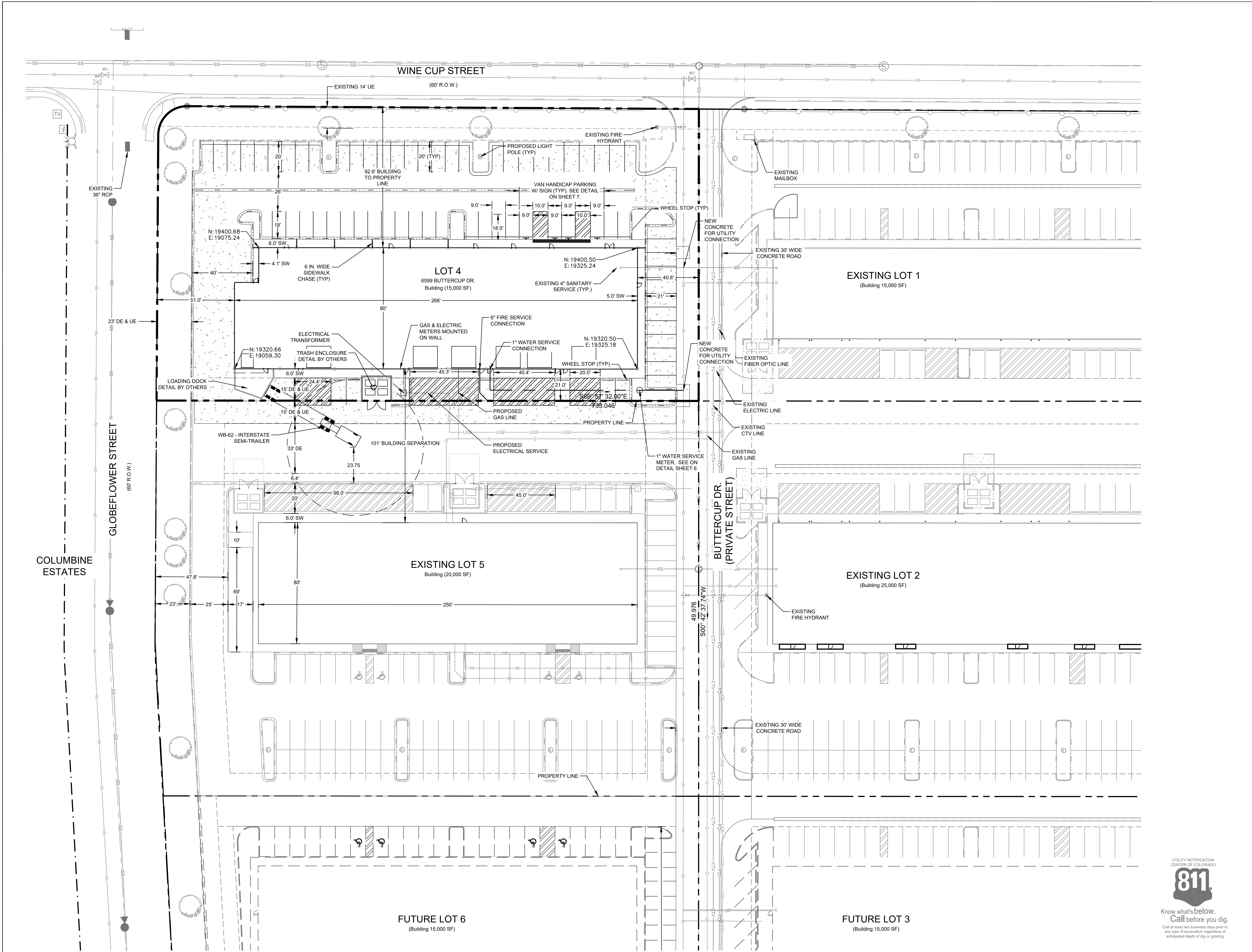
1. The size, type and location of all known underground utilities are approximate when shown on these drawings. It shall be the responsibility of the contractor to verify the existence of all underground utilities in the area of work. Before commencing new construction, the contractor shall identify all existing underground utilities and shall be responsible for all unknown underground utilities.
2. The contractor shall be responsible for coordinating demolition, removal, replacement, and disposal of all facilities and material.
3. The contractor shall be responsible for recycling materials in a manner that maximizes salvage, re-use, and recycling of materials. This includes appropriate sorting and storing and in particular, demolished concrete, asphalt, and base course should be recycled if possible.
4. All symbols are only graphically represented and are not to scale.
5. Contact the project surveyor for any inquiries related to the existing site survey.

Field Survey

Ron Perkins Land Surveyor
305 West Magnolia Street PMB 381
Fort Collins, Colorado 80521
Project No. FRS1
Date: March 28, 2014



Know what's below.
Call before you dig.
Call at least two business days prior to
any type of excavation regardless of
anticipated depth of dig or grading.



Legend

Proposed Curb & Gutter	=====
Proposed Centerline	-----
Proposed Right-of-Way	-----
Existing Right-of-Way	-----
Property Boundary	-----
Existing Lot Line	-----
Existing Edge of Asphalt	-----
Easement Line	-----
Sawcut Line	-----
Existing Storm Sewer	SS
Existing Sanitary Sewer w/ Manhole	SS
Proposed Sewer Service	S
Proposed Water Service	W
Existing Fiber Optic	FO
Existing Fire Hydrant	⊙

Notes

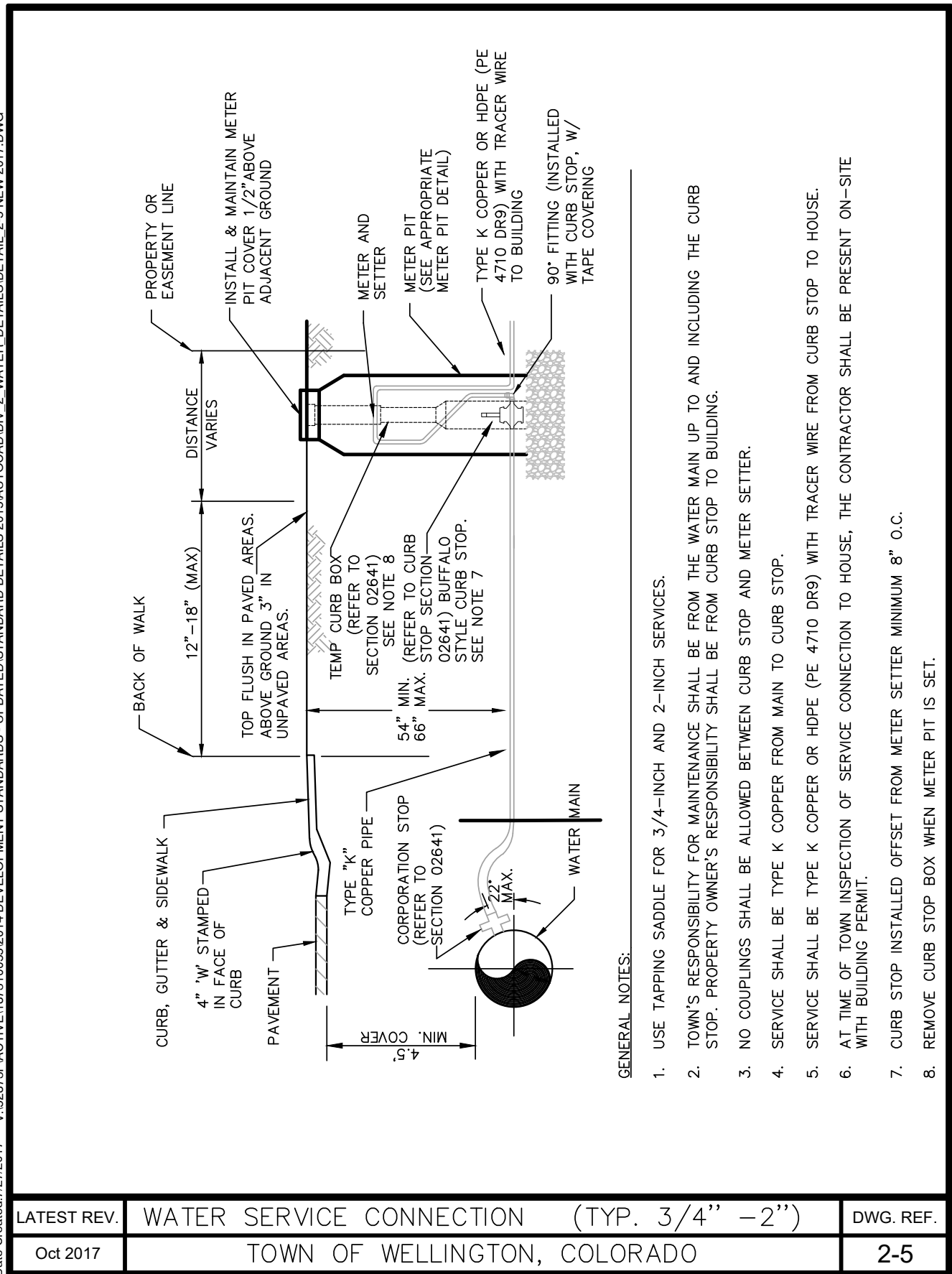
- The size, type and location of all known underground utilities are approximate when shown on these drawings. It shall be the responsibility of the contractor to verify the existence of all underground utilities in the area of the work. Before commencing new construction, the contractor shall be responsible for locating all underground utilities and shall be responsible for all unknown underground utilities.
- See soils report and/or geotechnical report for pavement and subgrade preparation, design and recommendations.
- Manhole rim elevations are to be adjusted to 1/4" below finished grade. If necessary, cone sections shall be rotated to prevent lids being located within vehicle or bicycle wheel paths.
- Expansion joints shall be provided in all sidewalks at maximum spacing of 50 feet.
- Crosspans along public streets at the intersection of private drives shall have concrete extended to the right-of-way line.
- Limits of street cut are approximate. final limits are to be determined in the field by the town engineering inspector. all repairs to be in accordance with town street repair standards.
- Contractor shall adjust existing sanitary sewer manholes and subdrain cleanouts within the right-of-way per town standards.
- Refer to the plat for lot areas, tract sizes, easements, lot dimensions, utility easements, other easements, and other survey information.

Land Use Table

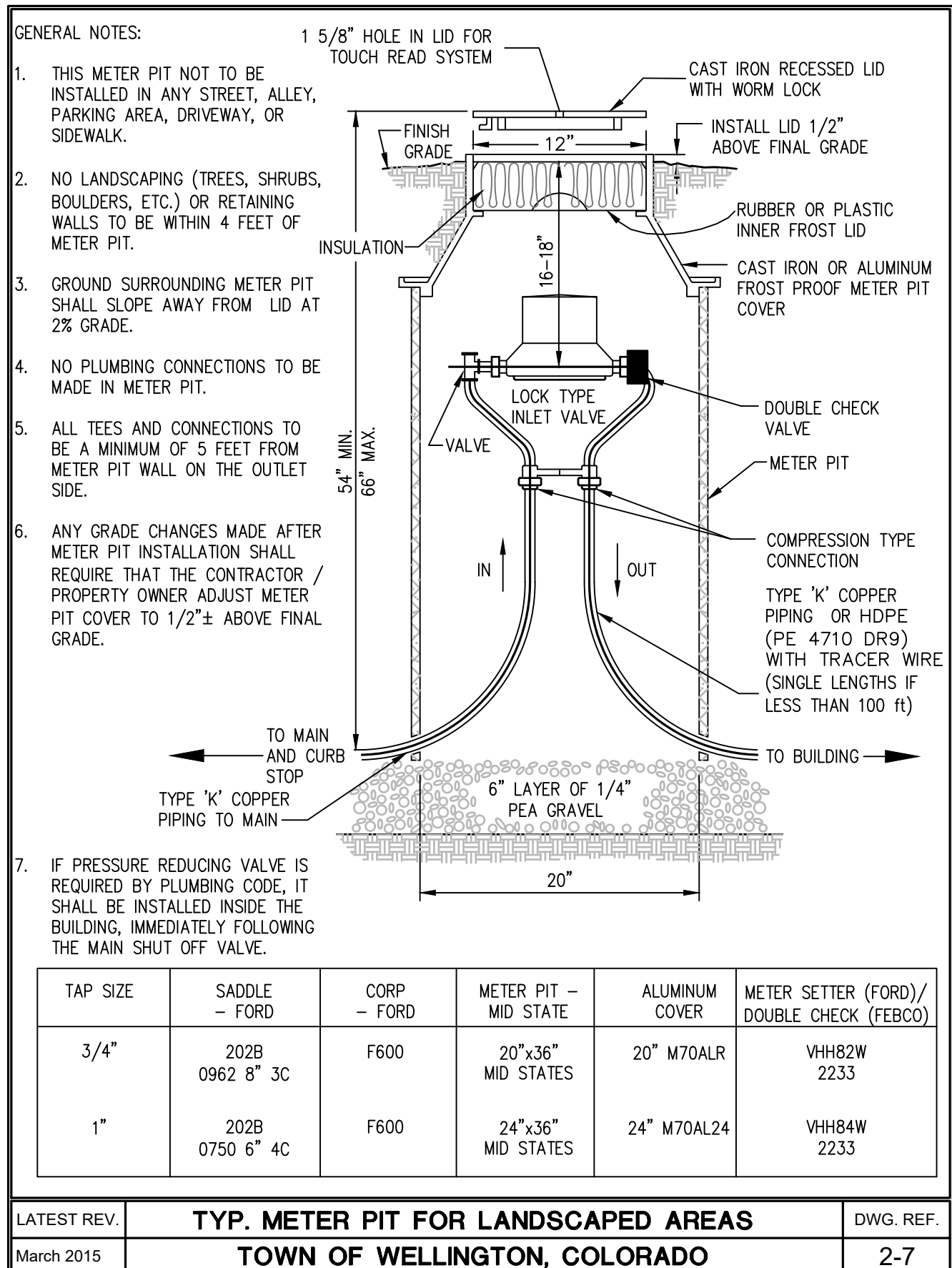
Description	Area (Square Feet)	Area (Acres)	Percent
Building	20,912	0.48	30.30%
Concrete	34,695	0.80	50.20%
Open Space	13,470	0.31	19.50%
Total	69,077	1.59	



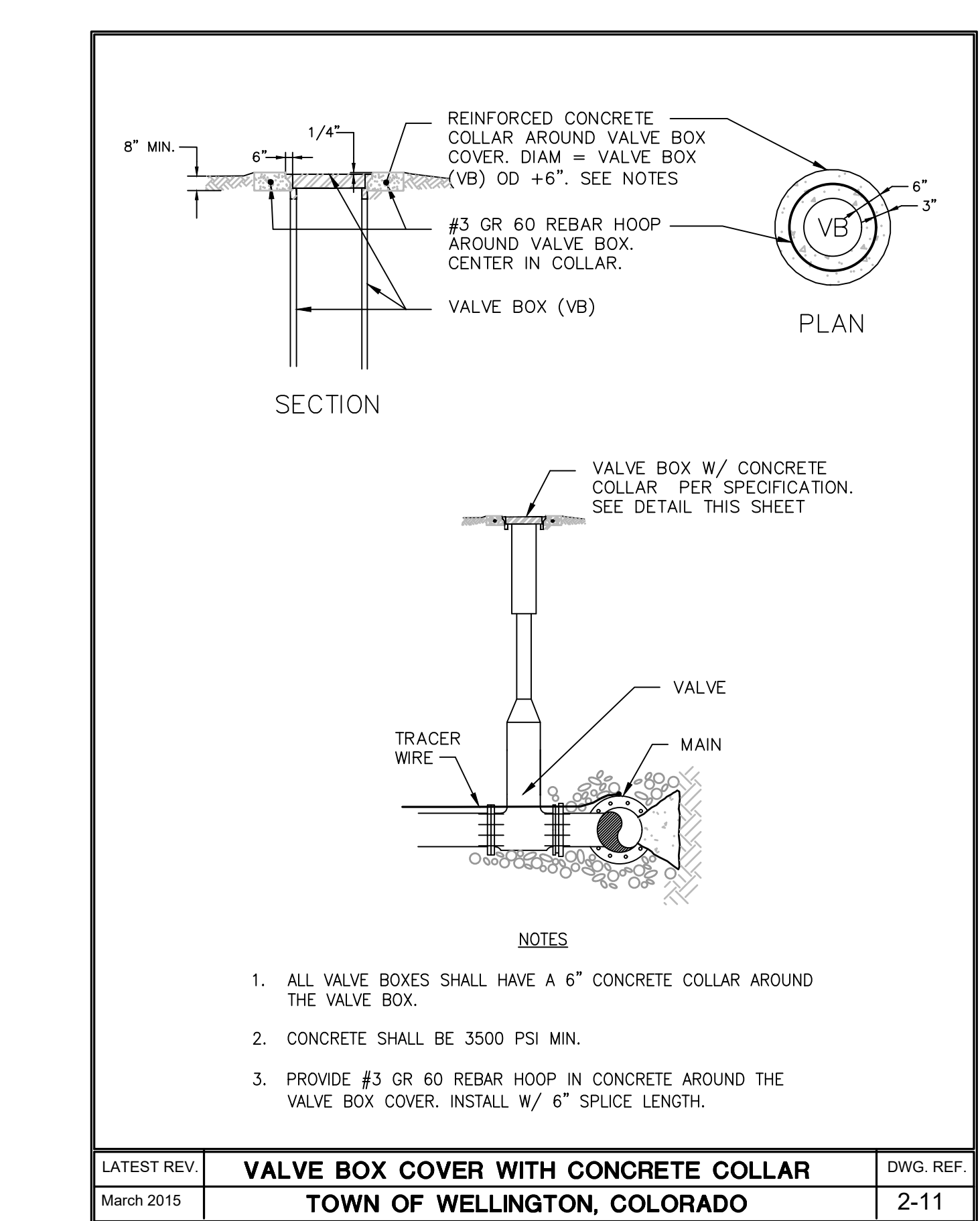
Pit Date:10/02/2017 3:07 PM Plotted By: Obenshmidt, Mark
Date Created: 2/2/2017 V:552/38 ACTIVE 10/21/2024 14:45 DEVELOPMENT STANDARDS - UPDATED STANDARD DETAILS 2016AUTOCAD/2017 2 WATER DETAIL DETAIL 2-5 NEW 2017.DWG



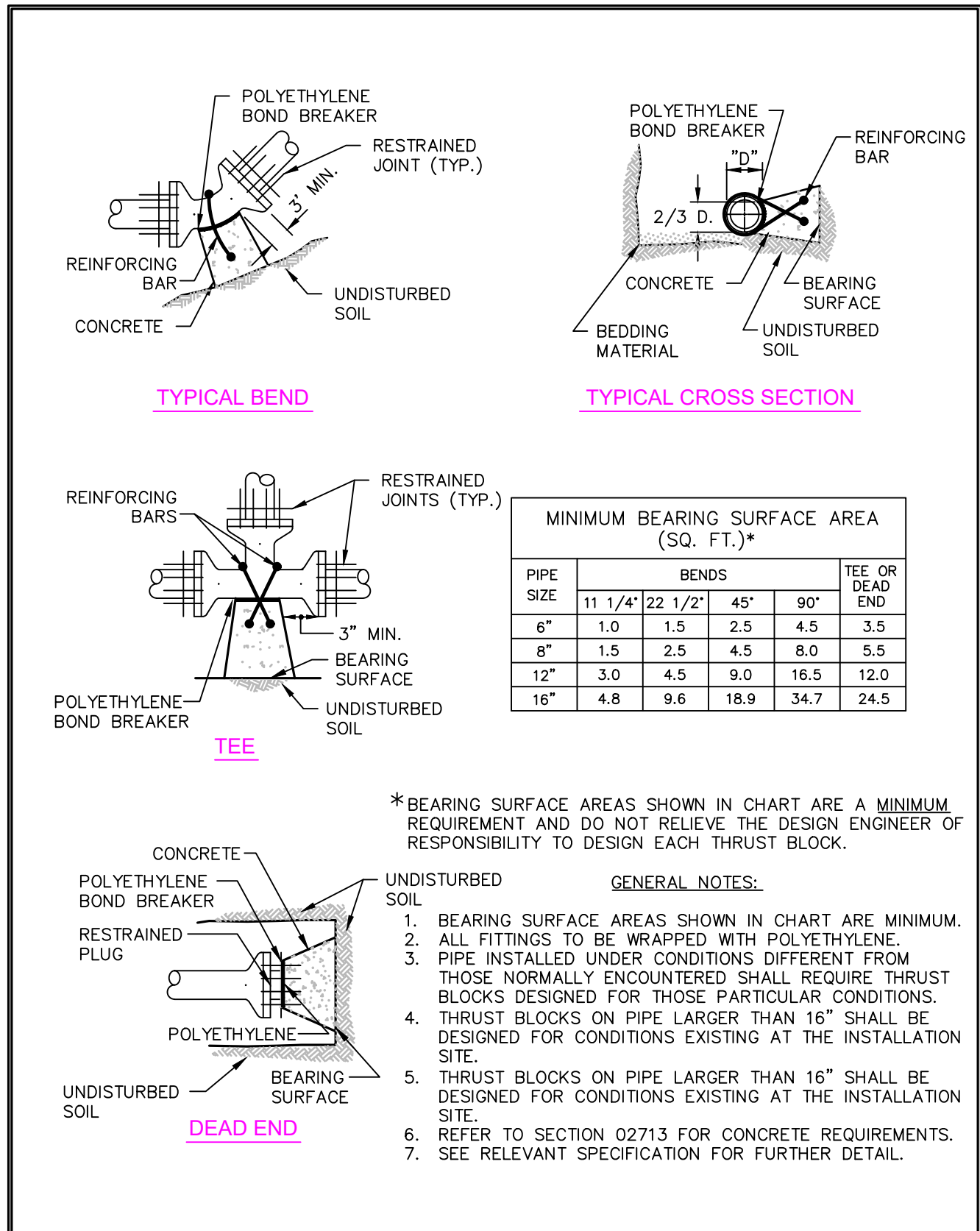
LATEST REV.	BEDDING DETAIL - PVC WATER DISTRIBUTION PIPE	DWG. REF.
March 2015	TOWN OF WELLINGTON, COLORADO	2-1



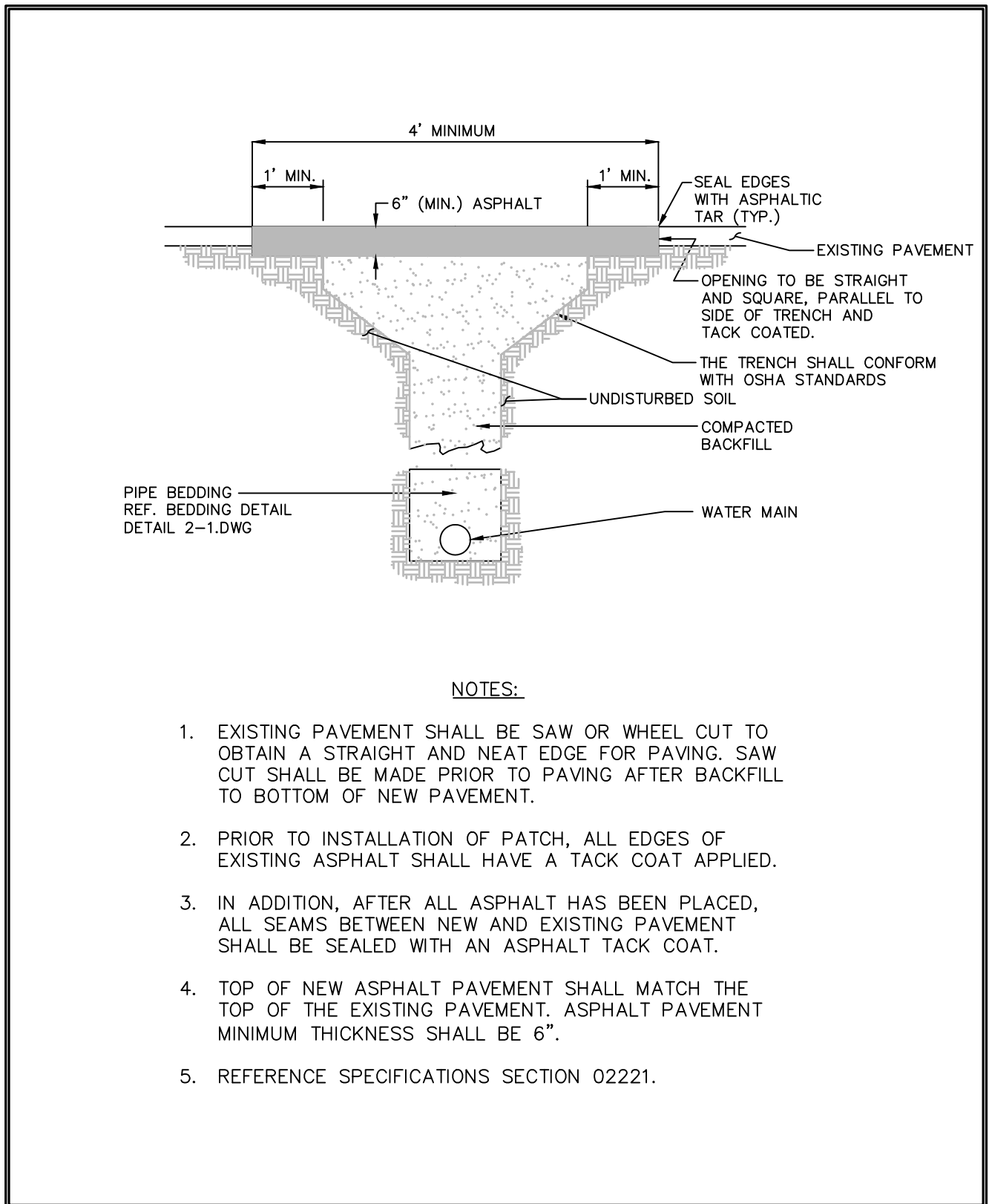
LATEST REV.	THRUST BLOCK DETAIL	DWG. REF.
March 2015	TOWN OF WELLINGTON, COLORADO	2-2



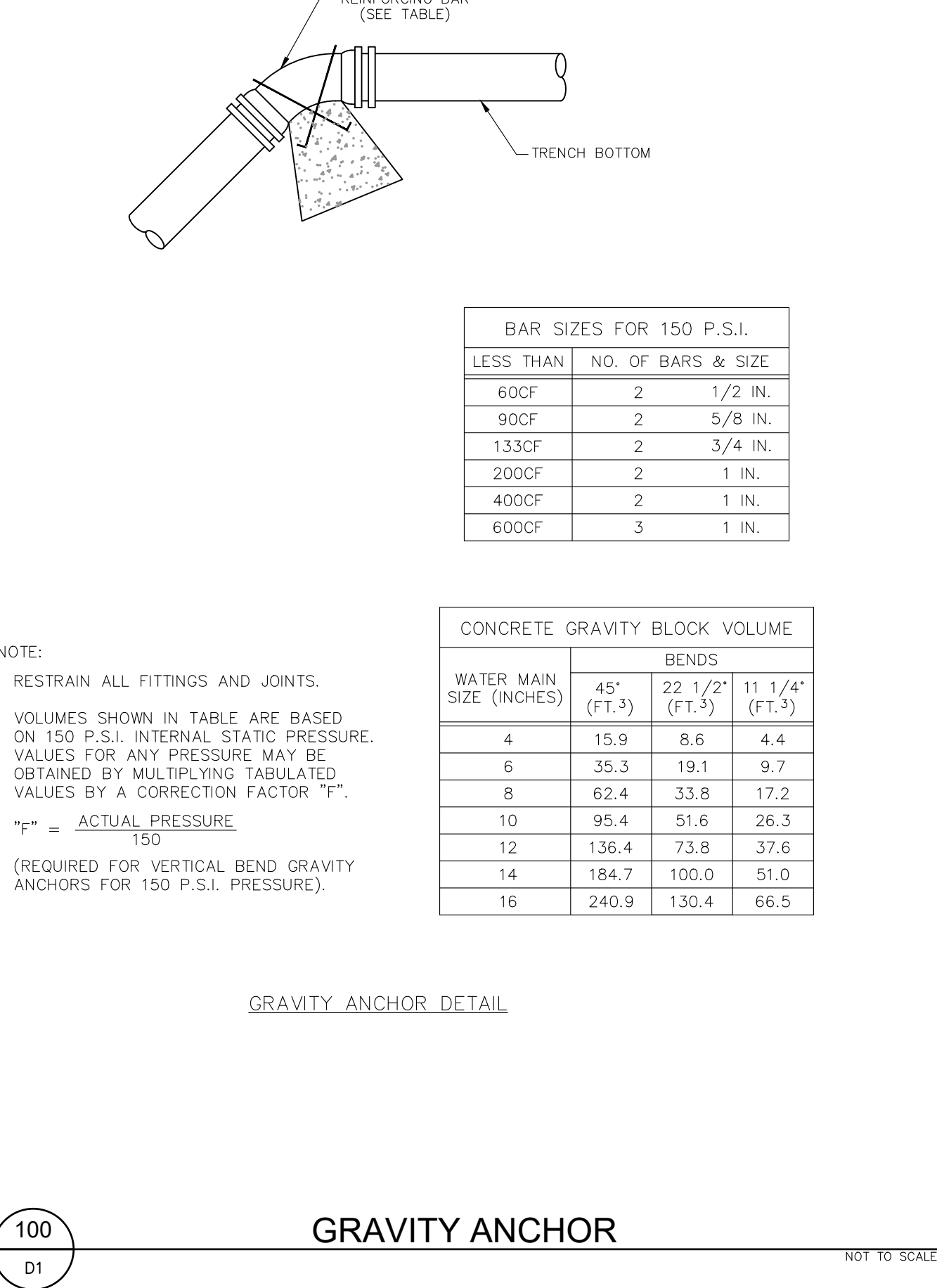
LATEST REV.	REPLACING ASPHALTIC CONCRETE PAVEMENT FOR WATER MAIN TRENCH	DWG. REF.
JAN 2018	TOWN OF WELLINGTON, COLORADO	2-3

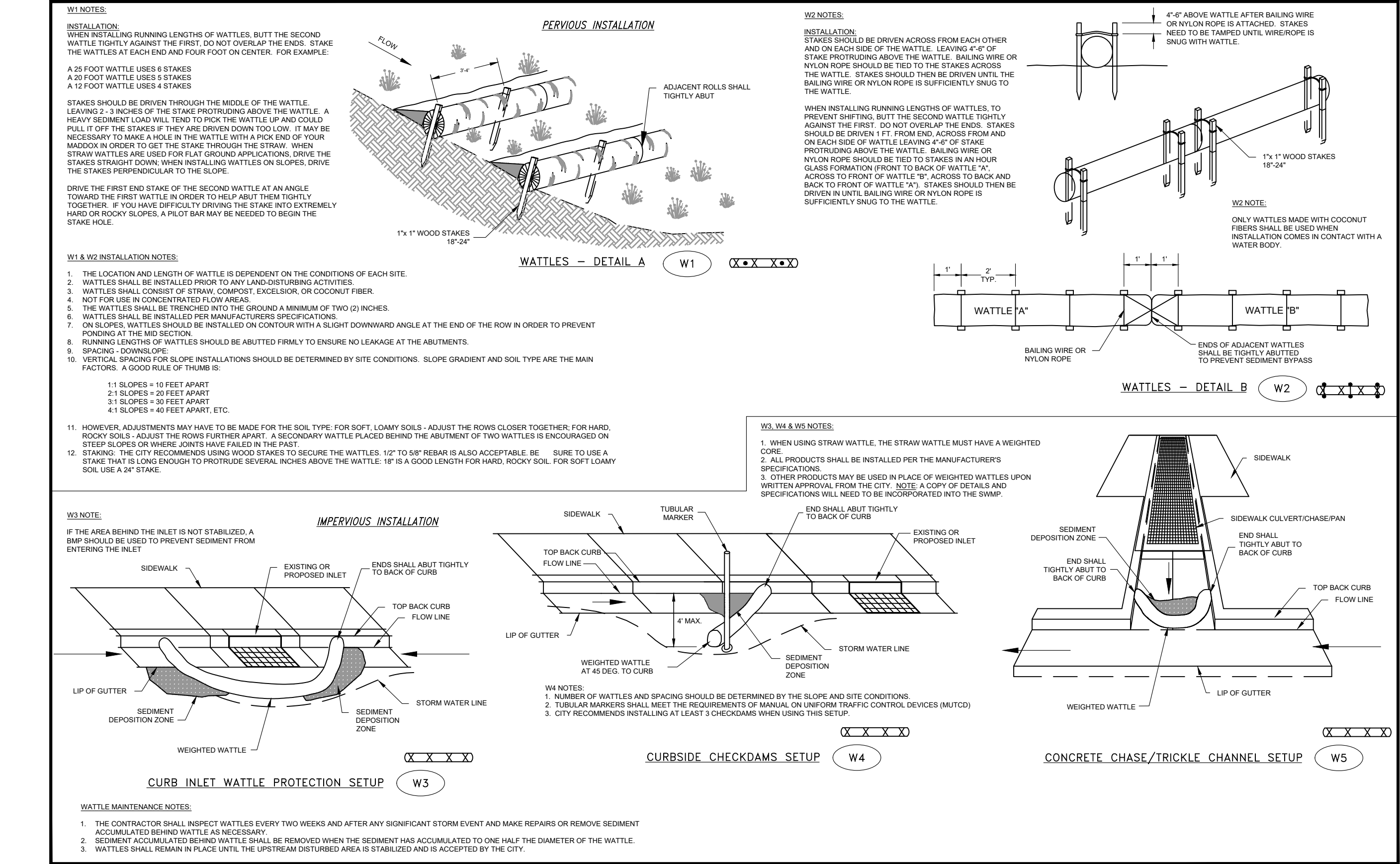


LATEST REV.	THRUST BLOCK DETAIL	DWG. REF.
March 2015	TOWN OF WELLINGTON, COLORADO	2-2



LATEST REV.	REPLACING ASPHALTIC CONCRETE PAVEMENT FOR WATER MAIN TRENCH	DWG. REF.
JAN 2018	TOWN OF WELLINGTON, COLORADO	2-3

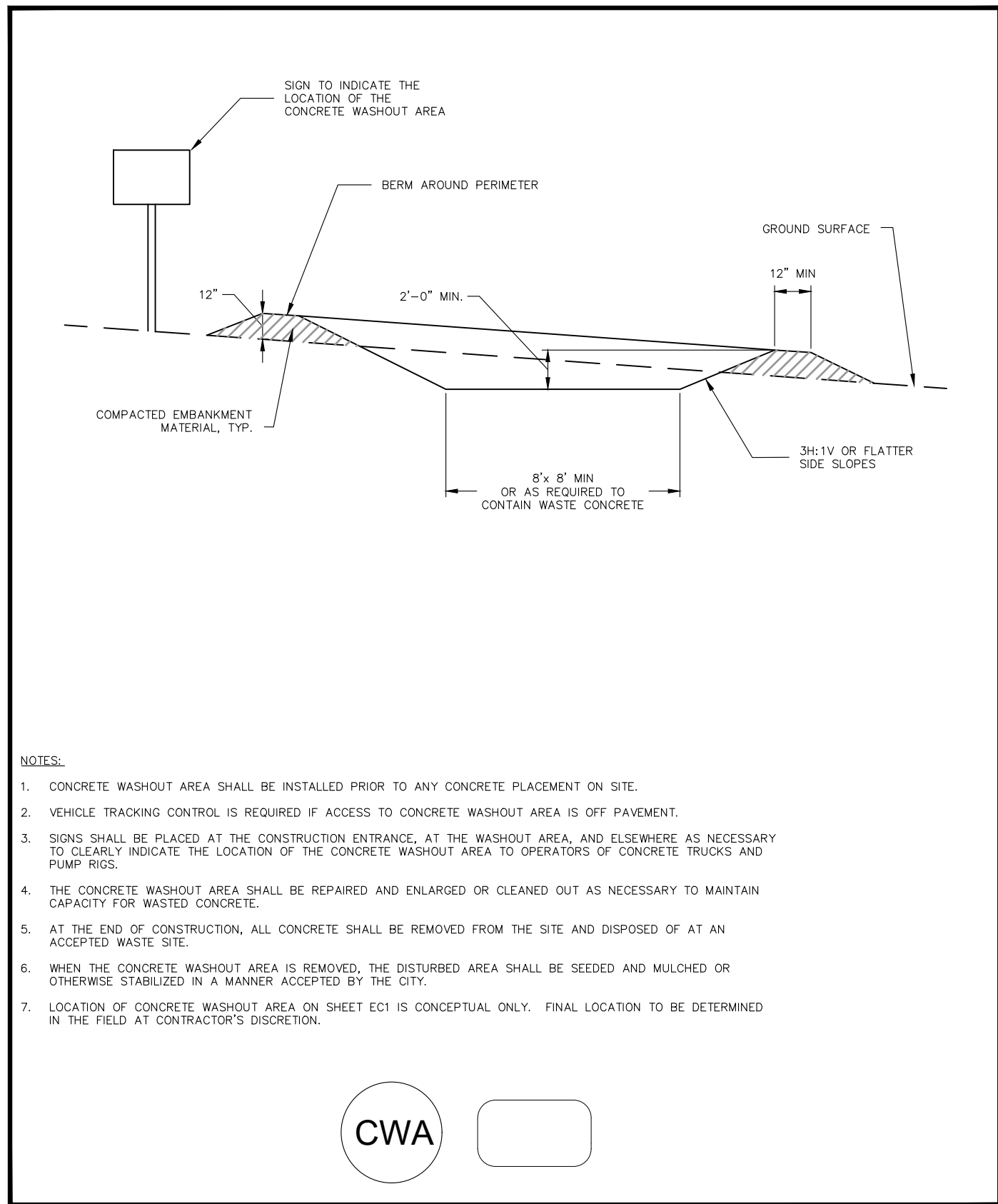




308
ER1

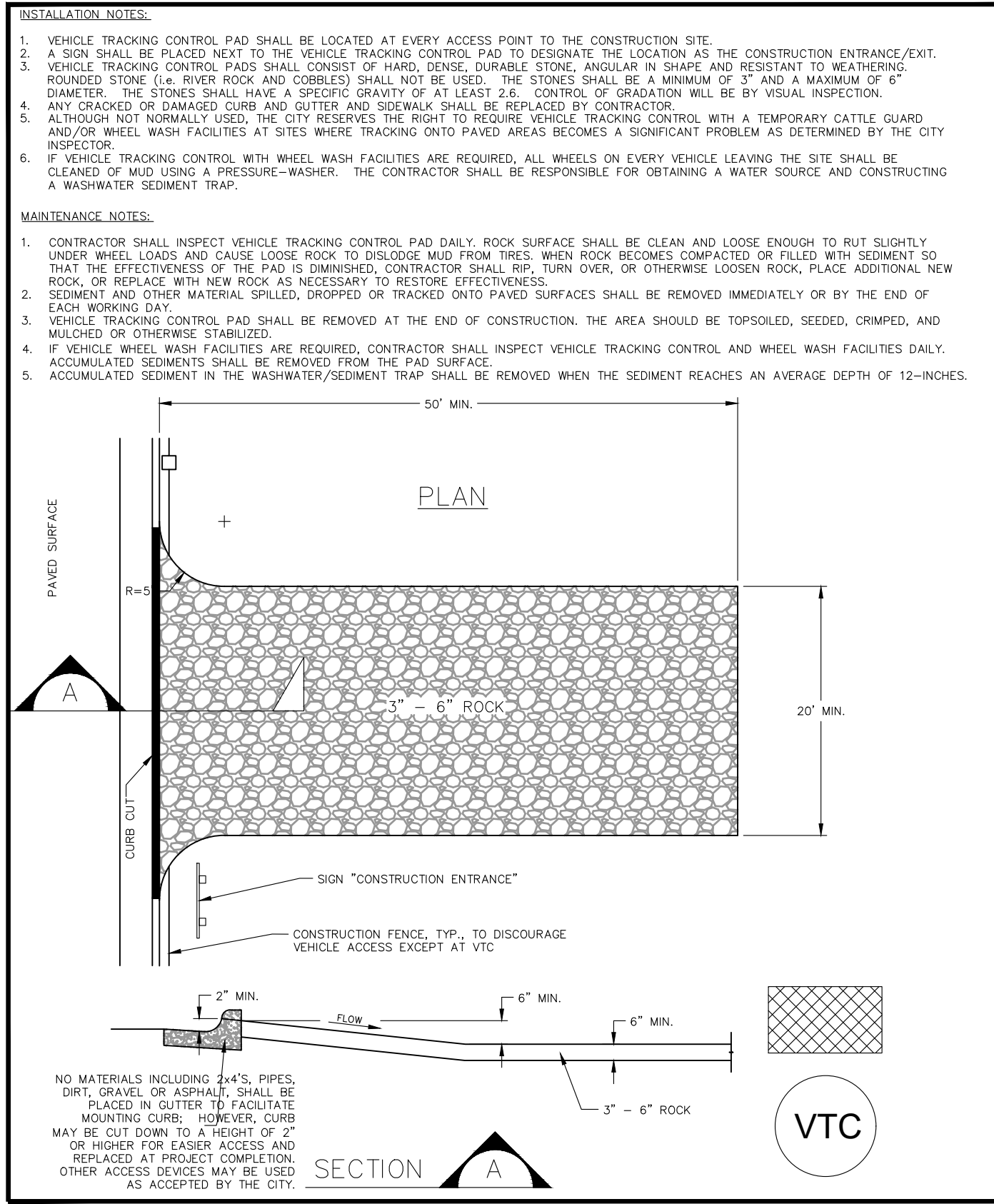
WATTLE INSTALLATION

NOT TO SCALE



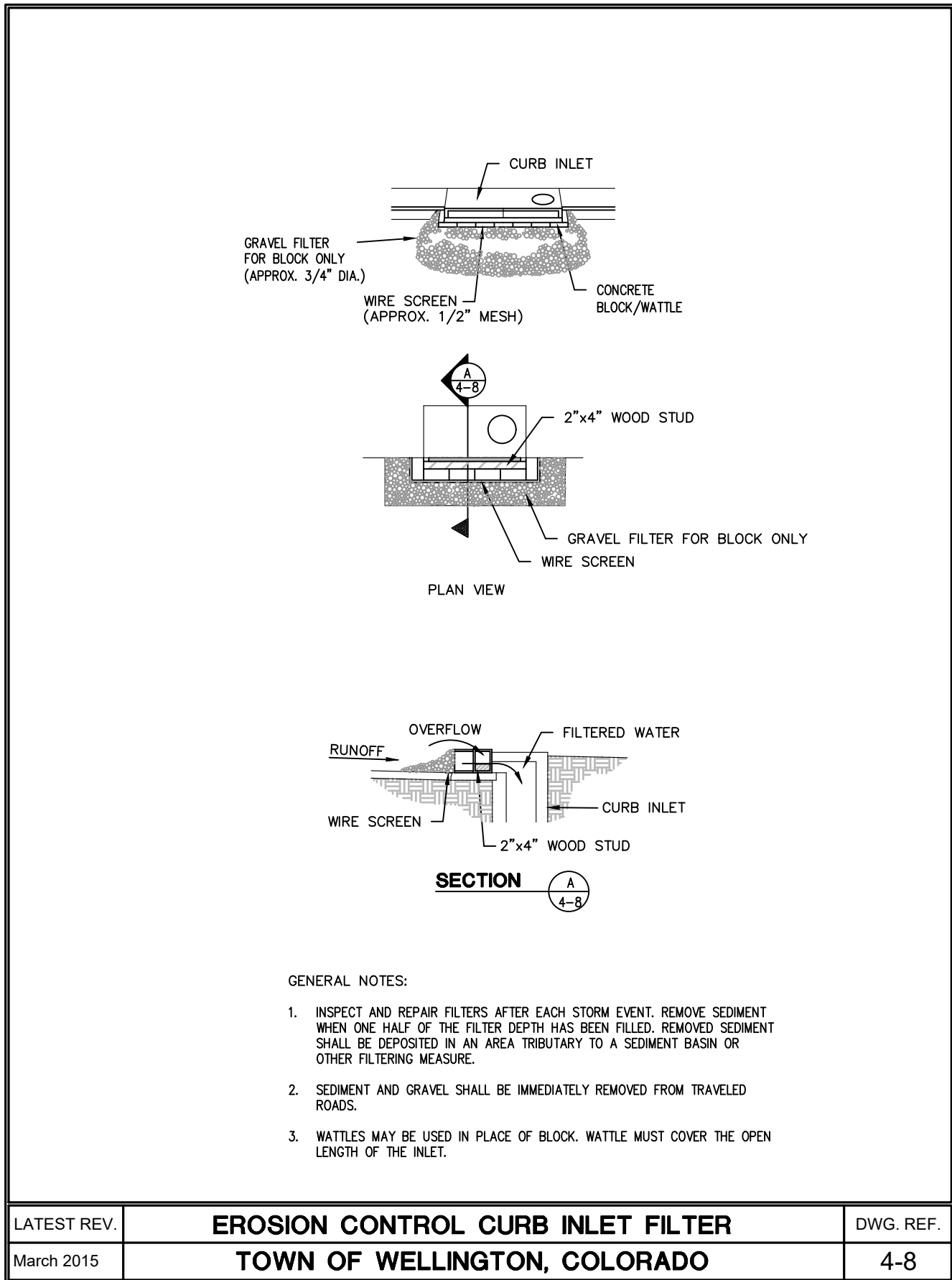
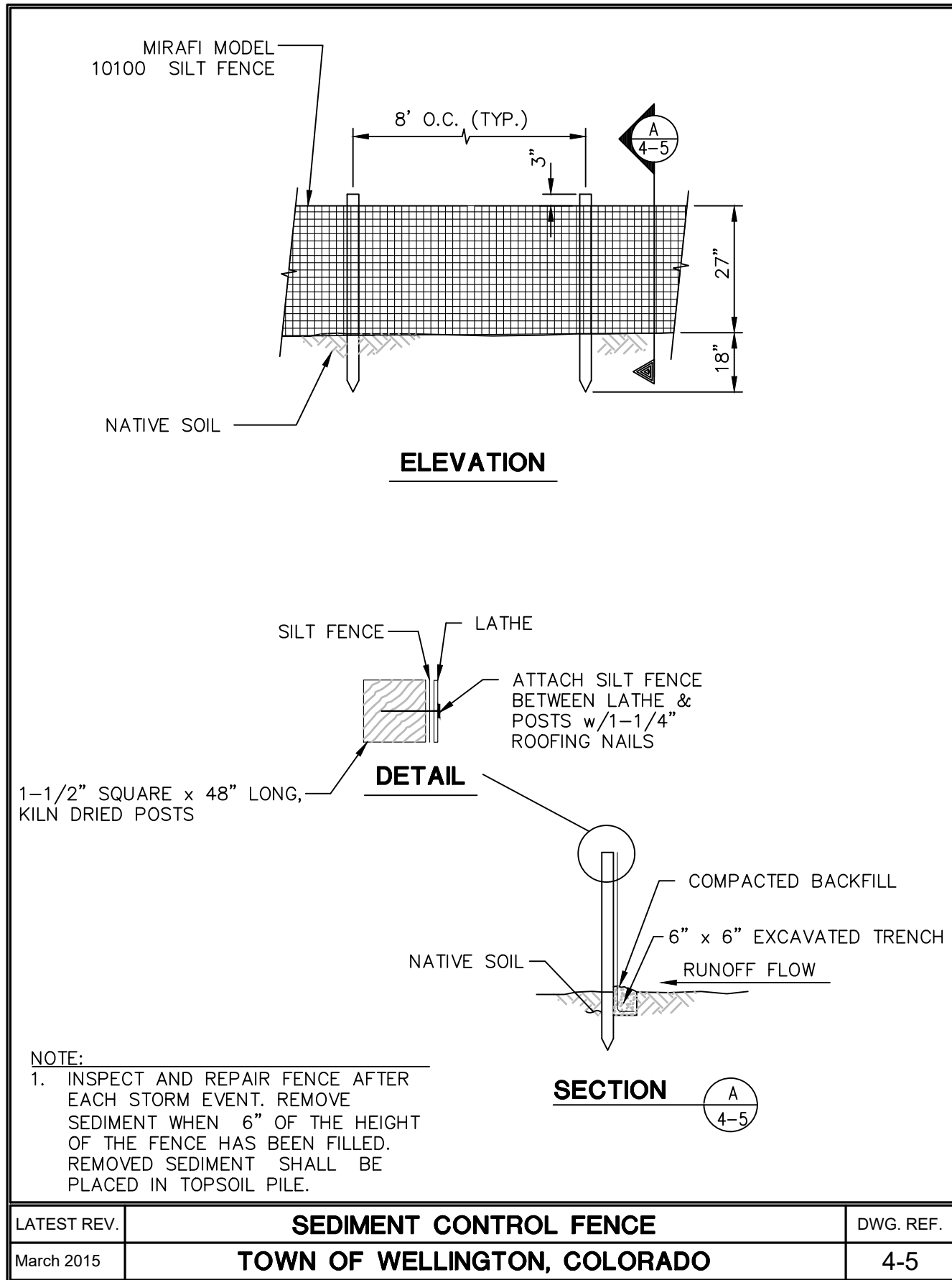
CONCRETE WASHOUT AREA

NOT TO SCALE



VEHICLE TRACKING CONTROL PAD

NOT TO SCALE



305
ER1

503
ER1

WELLINGTON BUSINESS CENTER
A REPLAT OF
OUTLOT D, COLUMBINE ESTATES AND OUTLOTS E-1 AND
E-2, COLUMBINE ESTATES MINOR SUBDIVISION
SITUATE IN THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 8 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO

PROPERTY DESCRIPTION:

A tract of land situate in the Town of Wellington, County of Larimer, State of Colorado, the Northeast Quarter of Section 9, Township 8 North, Range 68 West of the 6th Principal Meridian being more particularly described as follows:

Outlot D, Columbine Estates and Outlots E-1 and E-2, Columbine Estates Minor Subdivision.

The above described tract of land contains 20.639 acres, more or less, and is subject to all easements and rights-of-way now on record or existing.

DEDICATION OF PUBLIC PROPERTY.

The owner of the real property described in this Plat has caused the real property to be surveyed, laid out and sub-divided under the name of WELLINGTON BUSINESS CENTER, and does hereby sell, grant, dedicate, and convey to the Town of Wellington in fee simple, free and clear of all liens and encumbrances, and set apart all of the streets, roads, alleys, easements, and other public ways and places, as shown on the accompanying plat to the use of the public forever. The owner shall be responsible for construction and maintenance of all improvements of said streets, alleys, easements, public ways and places, until acceptance of maintenance therefor by the Town as provided in the Wellington Municipal Code.

CERTIFICATE OF TITLE

I, Jeffrey J. Johnson, an attorney licensed to practice law in the State of Colorado, certify to the Town of Wellington, Colorado, that I have examined the title to the property being subdivided and being dedicated to the Town of Wellington, Colorado and that to the extent shown of record in the real estate records in the Clerk and Recorder's Office of Larimer County Colorado or actually known by me to exist, all owners and proprietors as defined by C.R.S. §31_23_111 have signed this Plat.

ATTORNEY John J. John Registration No. 19821

CERTIFICATE OF OWNERSHIP.

I certify that Integrity Land Group, LLC is the owner of the property, there are no mortgagees and holders of liens upon the property, and each and all hereby consent to this plat and join in the conveyance and dedication of all streets, roads, alleys, easements, public ways, and places shown hereon.

Executed this August 27th day of August A.D. 2015

 *Manager*
Owner: Integrity Land Group, LLC.
Aaron Martin, Manager

State of Ohio)
County of Columbian)

The foregoing dedication was acknowledged before me this 27th day of August A.D. 2015

Witness My Hand and Seal 
 My commission expires My Commission Expires June 7, 2016

 **JANET SUE GOODRICH**
Notary Public - State of Ohio
My Commission Expires June 7, 2016

BASIS OF BEARINGS.

The Basis of Bearings for this plat is a Record Bearing of North 89°41'16" West along the North Line of Outlot E-1 Columbine Estates Minor Subdivision found monumented as shown hereon.

PLAT NOTES

1. Bearings, distances and curve information shown are field measured values unless otherwise indicated.
2. Lineal units used on this plat are U.S. Survey Feet.
3. At the client's request no research for easements and rights of way was conducted by the undersigned. Only those shown on the referenced recorded subdivision plats are depicted hereon.
4. Access roads will be privately maintained.
5. A separate site plan will be required for each lot at the time of the building permit.

SURVEYOR'S CERTIFICATE.

I, Alex Rondall Perkins, PLS # 34176, a duly registered land surveyor in the State of Colorado, do hereby certify that this Plat of WELLINGTON BUSINESS CENTER was performed by me or under my direct supervision, and that this plat has been prepared in compliance with all applicable laws of the State of Colorado at the time of this survey and is in my control and is accurate to the best of my knowledge, information and belief.

Alta Redell P.L.

PLANNING COMMISSION CERTIFICATE

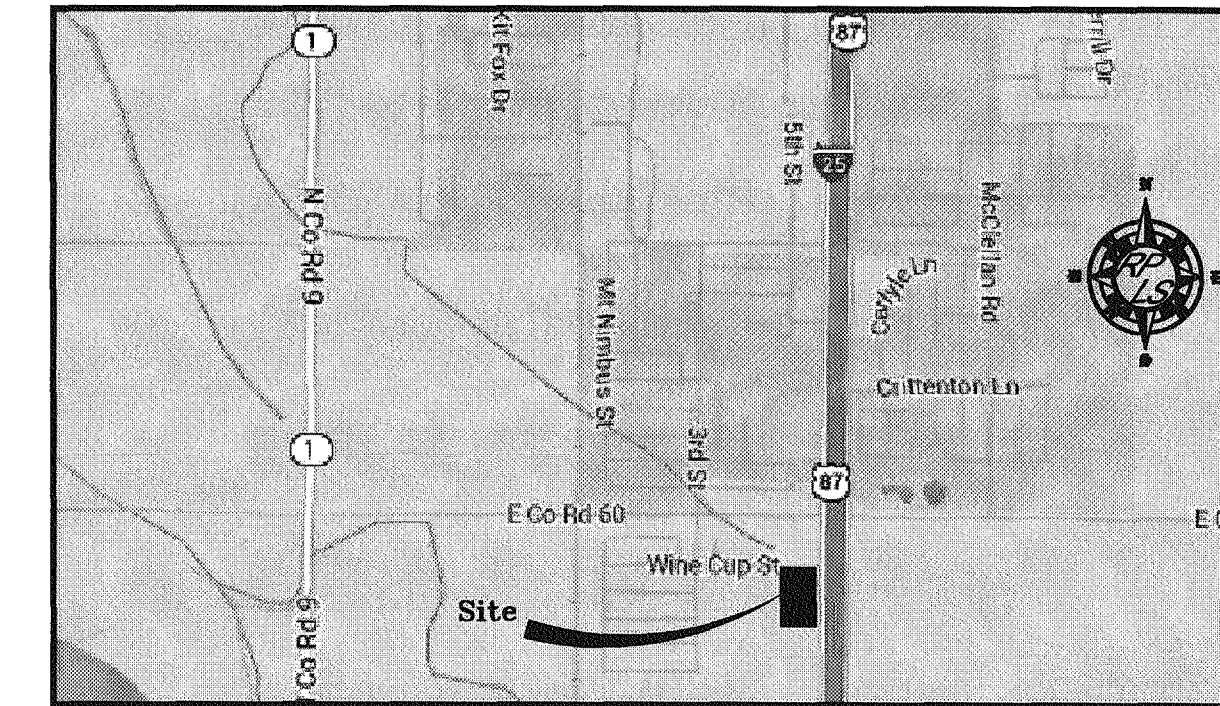
Approved this 2 day of February, 2015, by the Town Planning and Zoning Commission
Wellington, Colorado.

De C M / R

BOARD OF TRUSTEES CERTIFICATE

Approved this 24 day of February, 2015, by the Board of Trustees, Wellington, Colorado. This approval is conditioned upon all expenses involving necessary improvements for all utility services, paving, grading, land-scaping, curbs, gutters, street lights, street signs and sidewalks shall be financed by others and not the Town.

John B. D.



VICINITY MAP
N.T.S.

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of

DATE	<<<< REVISIONS >>>> DESCRIPTION	INITIALS
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

CHECKED BY: ABP _____ DATE: 08/20/16

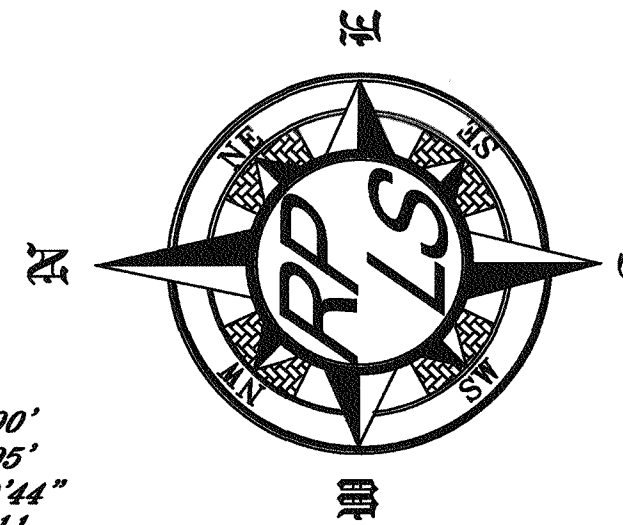
RON PERKINS LAND SURVEYOR
305 WEST MAGNOLIA STREET PMB 381
FORT COLLINS, COLORADO 80521
PHONE: (970)420-5542 EMAIL: aperkins@perkinsland.com

PLAT PREPARED FOR
INTEGRITY LAND GROUP LLC

WELLINGTON BUSINESS CENTER

A REPLAT OF
OUTLOT D, COLUMBINE ESTATES AND OUTLOTS E-1 AND
E-2, COLUMBINE ESTATES MINOR SUBDIVISION

SITUATE IN THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 8 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF WELLINGTON, COUNTY OF LARIMER, STATE OF COLORADO



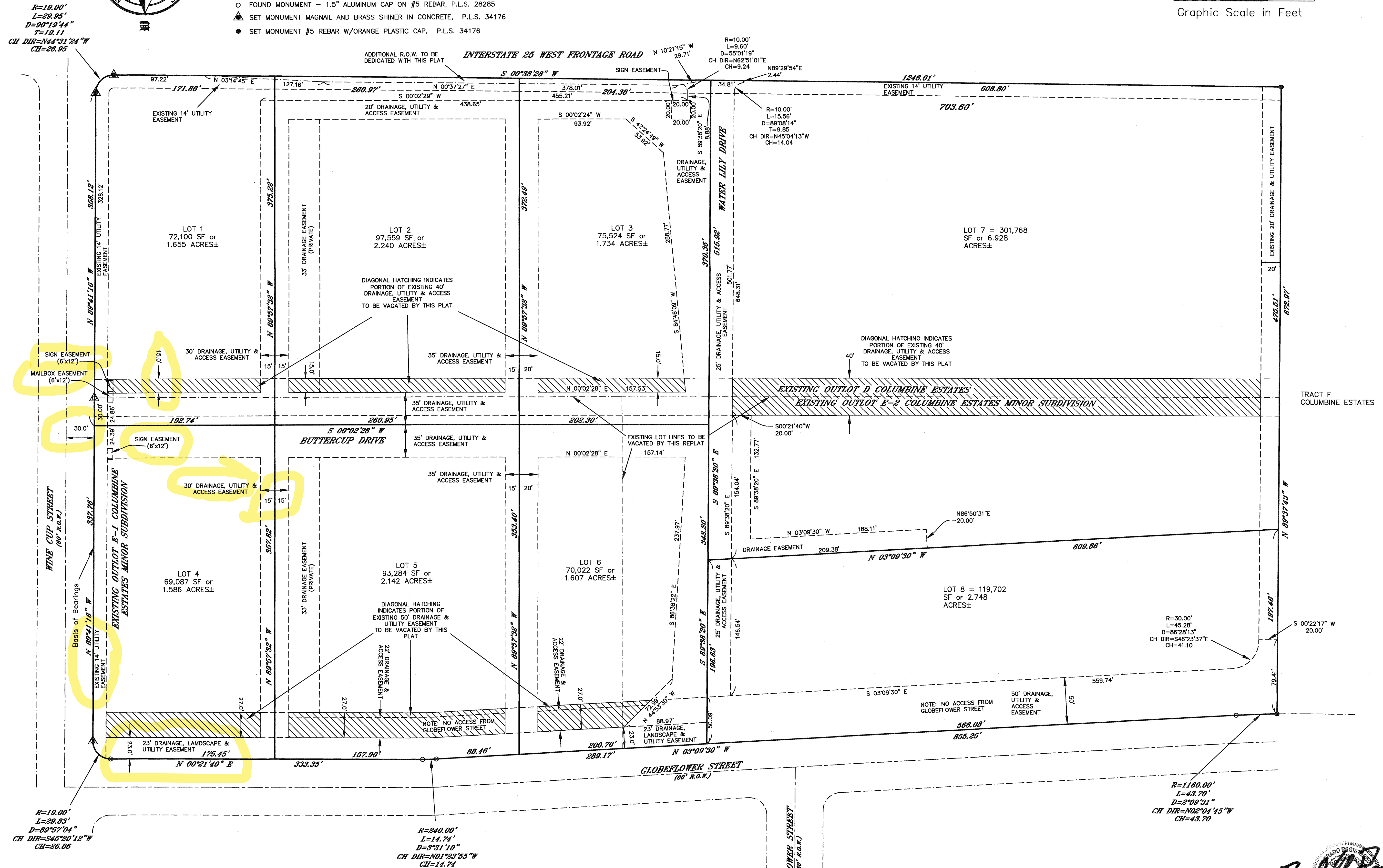
LEGEND

- FOUND MONUMENT - 1.5" ALUMINUM CAP IN CONCRETE, P.L.S. 28285
- FOUND MONUMENT - 1.5" ALUMINUM CAP ON #5 REBAR, P.L.S. 28285
- SET MONUMENT MAGNAIL AND BRASS SHINER IN CONCRETE, P.L.S. 34176
- SET MONUMENT #5 REBAR W/ORANGE PLASTIC CAP, P.L.S. 34176

Scale: 1" = 50'



Graphic Scale in Feet



NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first receive this plat. If you do not commence any legal action within three years after you first receive this plat, you will be deemed to have accepted this survey as correct and you will be barred from bringing any action to set aside or annul this survey.

DATE	INITIALS

RON PERKINS LAND SURVEYOR
305 WEST MAGNOLIA STREET PMB 381
FORT COLLINS, COLORADO 80521
PHONE: (970)420-5542 EMAIL: ronperkins@perkinsland.com

PLAT PREPARED FOR
INTEGRITY LAND GROUP LLC

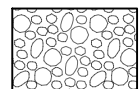
PROJECT NUMBER: FRS1
FIELD BOOK(S): 101

CHECKED BY: ARP
DATE: 08/20/15

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE
UC	4	Ulmus x 'Frontier' / Frontier Elm Replacement for dead Frontier Maple	2'-1/2" B#B
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	SIZE
MS	4	Malus x 'Spring Snow' / Spring Snow Crabapple	2" B#B
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
PL	8	Physocarpus opulifolius 'Little Devil' / Little Devil™ Dwarf Ninebark	#5 CNT
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
JW	12	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	#5 CNT
GRASSES	QTY	BOTANICAL / COMMON NAME	CONT
ST	16	Sporobolus heterolepis 'Tara' / Tara Prairie Dropseed	#1 CNT

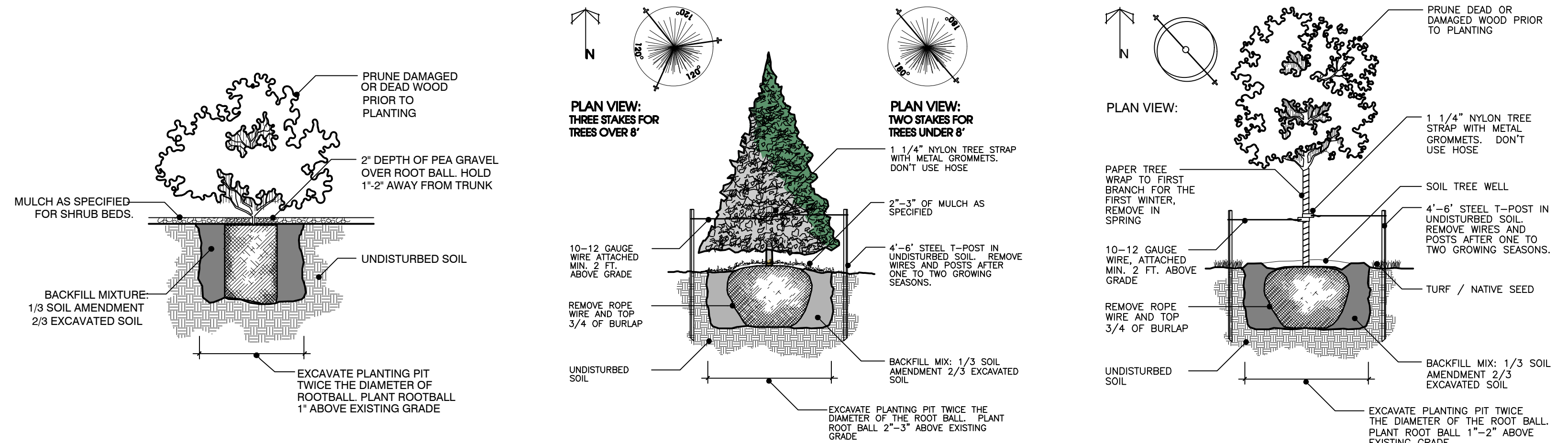
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	ROCK MULCH

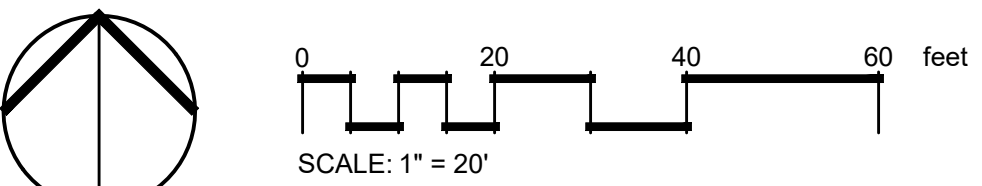
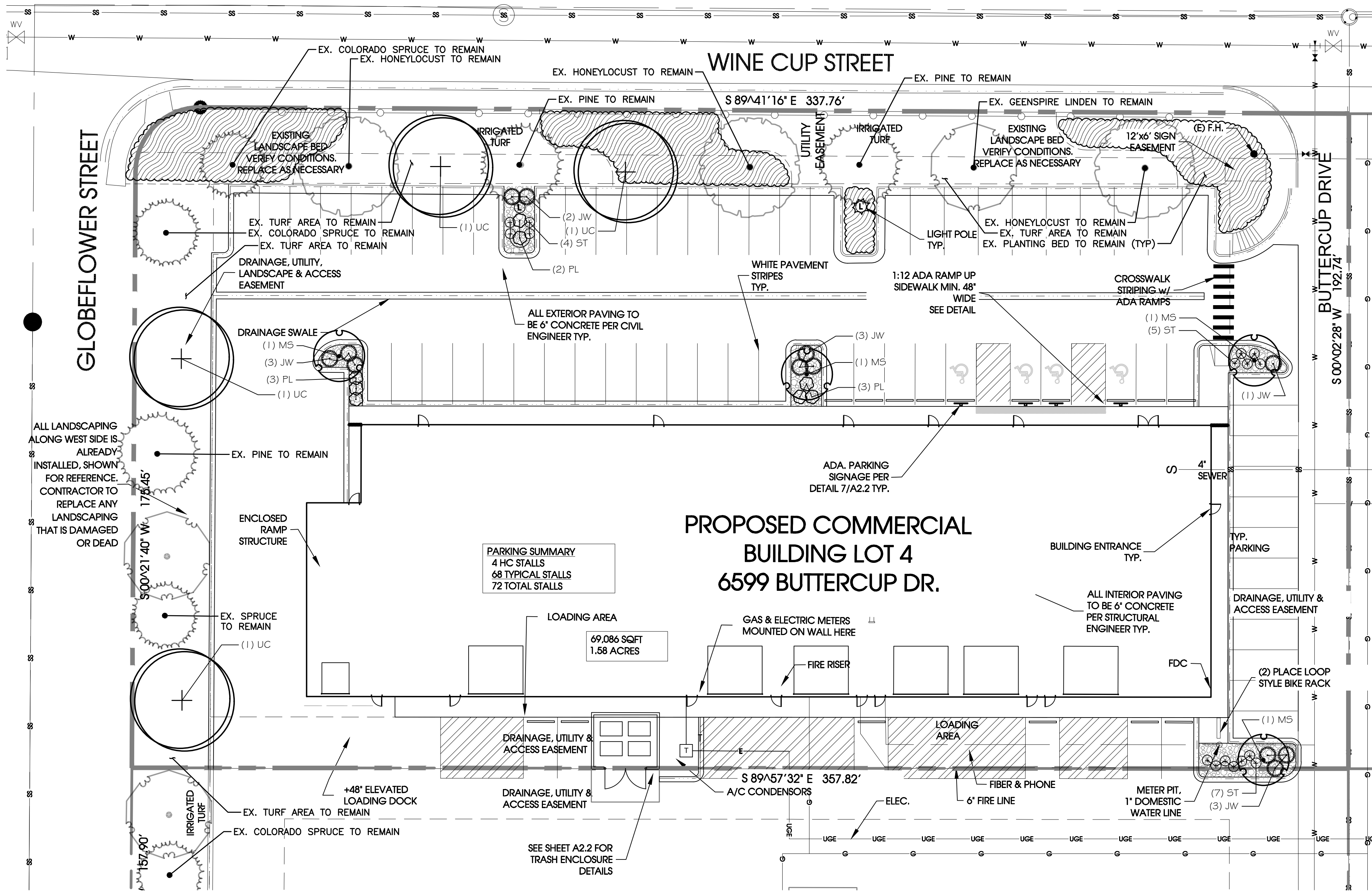
Hydrozone Calculations			
Hydrozone Category	Irrigated Area (sq. ft.)	Water Use (gal/sf)	Water Budget (gallons)
HIGH	0	12	0
MODERATE	850	9	7,650
LOW	0	3	0
VERY LOW	0	1	0
TOTAL	850	9.00	7,650

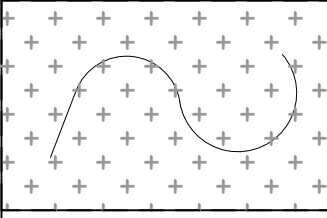
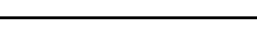
LANDSCAPE NOTES

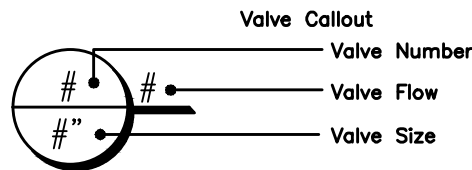
- THE LANDSCAPING AND IRRIGATION ALONG WINE CUP STREET AND GLOBEFLOWER STREET ARE TO REMAIN AS FINAL WORK. PROTECT THE EXISTING LANDSCAPE FROM DAMAGE DURING CONSTRUCTION ACTIVITIES. REPLACE DEAD TREES AS SHOWN ON THE PLAN AND REPAIR ANY INCIDENTAL DAMAGE CAUSED BY CONSTRUCTION.
- ALL TURF AREAS TO BE IRRIGATED WITH AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES TO BE IRRIGATED WITH AN AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- SOIL PREPARATION - ALL PLANTED AREAS (EXCEPT NATIVE SEEDING) SHALL BE AMENDED WITH 4 CUBIC YARDS OF COMPOST PER 1,000 SQUARE FEET. THESE AREAS SHALL BE RIPPED AND ROTOTILLED TO A DEPTH OF 6-8". RESTORE SOIL TO ORIGINAL GRADE AS SHOWN ON THE GRADING PLAN AFTER SOIL PREPARATION IS COMPLETED.
- STEEL EDGING - PRO-STEEL EDGING OR APPROVED EQUIVALENT. INSTALL BETWEEN SOD / SEED & MULCH, AND BETWEEN ROCK & WOOD MULCH AS APPLICABLE.
- WEED BARRIER - ALL ROCK AND WOOD MULCH AREAS SHALL RECEIVE TYPAR WEED BARRIER FABRIC OR APPROVED EQUIVALENT INSTALLED UNDER THE MULCH. OVERLAP SEAMS A MINIMUM OF 6". AT OVERLAP LOCATIONS AND EDGES OF CURBS, WALLS, STRUCTURES, PAVEMENTS, AND EDGING, WEED BARRIER SHALL BE SECURED WITH 1 1/2" GAUGE, 6-INCH LONG STAPLES AT 18 INCHES O.C. AT ALL EDGES.
- ROCK MULCH - 1-1/2" TAN RIVER ROCK AT .
- WOOD MULCH - SHREDDED REDWOOD.
- TREE RINGS - ALL TREES IN TURF, NATIVE SEED AND COBBLE MULCH AREAS SHALL HAVE A 4-FOOT DIAMETER RING OF 4" DEEP WOOD MULCH OVER WEED BARRIER FABRIC.
- SHRUB / PERENNIAL RINGS - ALL SHRUBS / PERENNIALS IN COBBLE AREAS SHALL RECEIVE A 4" DEPTH OF WOOD MULCH, DIRECTLY OVER THE ROOTBALL (NO WEED BARRIER).
- ALL SHRUB BEDS TO BE MULCHED WITH ROCK MULCH AS DESCRIBED (3" AVERAGE DEPTH) ON TYPAR FILTER FABRIC.
- EDGING TO BE PLACED BETWEEN GRASS AND SHRUB BEDS, LEVEL WITH TOP OF SOD. SEEDING - SEE NATIVE SEEDING NOTES ON THIS SHEET.
- ANY SUBSTITUTE PLANT MATERIAL OR LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE. ALL PLANT MATERIAL MUST BE FIRST QUALITY AND SHALL COMPLY WITH THE MOST RECENT STANDARDS FOR NURSERY STOCK AS APPROVED BY THE AMERICAN STANDARDS INSTITUTE AND SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANTING - FOLLOW PLANTING DETAILS CAREFULLY. ALL PLANTS SHALL BE PRUNED AS NEEDED IMMEDIATELY AFTER INSTALLATION TO PROMOTE VIGOROUS GROWTH. CONTRACTOR SHALL REMOVE TREE STAKING AND WRAP WITHIN 18 MONTHS OF INSTALLATION.
- CONTRACTOR TO REVIEW AND VERIFY SITE CONDITIONS COMPARED TO PLANS. THESE ARE NOT ENGINEERED DRAWINGS, AND FIELD ADJUSTMENTS MAY BE NECESSARY DUE TO ACTUAL UTILITY LOCATIONS, STRUCTURES, OBJECTS OR CONDITIONS THAT ARE DIFFERENT THAN SHOWN ON THESE PLANS.
- HAVE ALL UTILITIES LOCATED BEFORE CONSTRUCTION. COORDINATE ALL WORK WITH OTHER TRADES.
- ALL PLANTS SHALL CONFORM TO STANDARDS FOR MEASUREMENTS, GRADING, BRANCHING, QUALITY, BALL AND BURLAPPING AS STATED IN THE AMERICAN STANDARD FOR NURSERY STOCK, 1990 EDITION, AMERICAN ASSOCIATION OF NURSERYMEN, INC. (AA-NANS) AND THE COLORADO NURSERY ACT OF 1965 (CNA).
- ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAG, OR CONTAINERIZED.
- LANDSCAPING SHALL BE NO MORE THAN THIRTY (30) INCHES HIGH WHEN LOCATED IN A SIGHT DISTANCE TRIANGLE.
- STREET AND ORNAMENTAL TREES SHALL BE PLANTED NO CLOSER THAN FORTY (40) FEET AND FIFTEEN (15) FEET RESPECTIVELY FROM STREET LIGHTS. NO TREES SHALL BE PLANTED WITHIN TEN (10) FEET FROM WATER AND SEWER LINES, FIVE (5) FEET FROM GAS, ELECTRIC AND CABLE LINES, AND TEN (10) FEET FROM ANY DRIVEWAY.
- MINIMUM CLEARANCE OF THREE (3) FEET ON EACH SIDE OF FIRE DEPARTMENT CONNECTION (FDC). NO VEGETATION OTHER THAN TURF OR GRASS COVERS PLANTED IN FRONT OF FDC.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- MAINTENANCE - TREES AND VEGETATION, IRRIGATION SYSTEMS, FENCES, WALLS AND OTHER LANDSCAPE ELEMENTS SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL LANDSCAPING ELEMENTS IN GOOD CONDITION. ALL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER, AND ALL LANDSCAPE STRUCTURES SUCH AS FENCES AND WALLS SHALL BE REPAIRED AND REPLACED PERIODICALLY TO MAINTAIN A STRUCTURALLY SOUND CONDITION.



1	SHRUB PLANTING	NTS	329333.13-05
2	CONIFEROUS TREE PLANTING	NTS	329343.39-05
3	DECIDUOUS TREE PLANTING	NTS	329343.39-04



IRRIGATION SCHEDULE			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	DETAIL
	Hunter PCZ-101-40 Drip Control Valve Kit. 1 in. PGV globe valve with 1 in. HY100 filter system. Pressure Regulation: 40psi. Flow range: 0.5 GPM to 15 GPM. 150 mesh stainless steel screen.		1/IR-2
	End Cap		3/IR-2
	Hunter ECO-ID drip indicator ECO-ID: 1/2in. FPT connection with 12 psi-70 psi operating pressure. Specify with Hunter SJ swing joint.		7/IR-2
	Area to Receive Drip Emitters 3/4" PE drip tube with Netafim SPCV emitters Single Outlet Pressure Compensating Drip Emitter, 1.5psi Internal Check Valve, with Self-Piercing Barb. Blue= 0.5gph, Black= 1.0gph, Red= 2.0gph.	20	2/IR-2
	Emitter Notes: 1.0 GPH emitters (4 assigned to each 2" B&B plant)		
	1.0 GPH emitters (1 assigned to each #1 CNT plant)		
	1.0 GPH emitters (4 assigned to each 2-1/2" B&B plant)		
	1.0 GPH emitters (2 assigned to each #5 CNT plant)		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		DETAIL
	Rain Bird 3-RC 3/4in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 1-Piece Body.		4/IR-2
	Febco 825YA W/ Enclosure 1" Reduced Pressure Backflow Preventer		9/IR-2
	Hunter NODE-100 Single Station Controller, Outdoor, Battery Powered. DC Latching Solenoid Included.		1/IR-2
	Hunter SC-Probe Soil moisture probe. Direct connection to Node controller.		1/IR-2
	Upstream Winterization Assembly		8/IR-2
	Point of Connection 3/4" 1" TYPE K COPPER STUB		
	Irrigation Lateral Line: PVC Class 200 SDR 21		5/IR-2
	Irrigation Mainline: PVC Class 200 SDR 21		5/IR-2
	Pipe Sleeve: PVC Class 200 SDR 21		6/IR-2



CRITICAL ANALYSIS

Generated:	2023-05-05 13:18
P.O.C. NUMBER: 01	
Water Source Information:	1" TYPE K COPPER STUB
FLOW AVAILABLE	
Point of Connection Size:	3/4"
Flow Available:	6.8 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	60 PSI
Pressure Available:	60 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	1.0 GPM
Flow Available at POC:	6.8 GPM
Residual Flow Available:	5.81 GPM
Critical Station:	1
Design Pressure:	20 PSI
Friction Loss:	0.01 PSI
Fittings Loss:	0 PSI
Elevation Loss:	0 PSI
Loss through Valve:	5 PSI
Pressure Req. at Critical Station:	25.0 PSI
Loss for Fittings:	0.0 PSI
Loss for Main Line:	0.0 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	11 PSI
Critical Station Pressure at POC:	36.0 PSI
Pressure Available:	60 PSI
Residual Pressure Available:	24.0 PSI

GENERAL DESCRIPTION:

A FULLY AUTOMATED SPRINKLER / DRIP IRRIGATION SYSTEM WILL IRRIGATE ALL LANDSCAPE AREAS. LOW VOLUME DRIP IRRIGATION AND A SOIL MOISTURE SENSOR WILL BE INSTALLED AS A WATER SAVING METHOD.

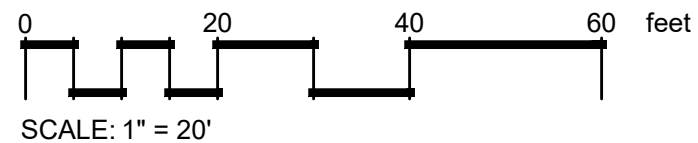
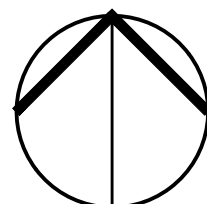
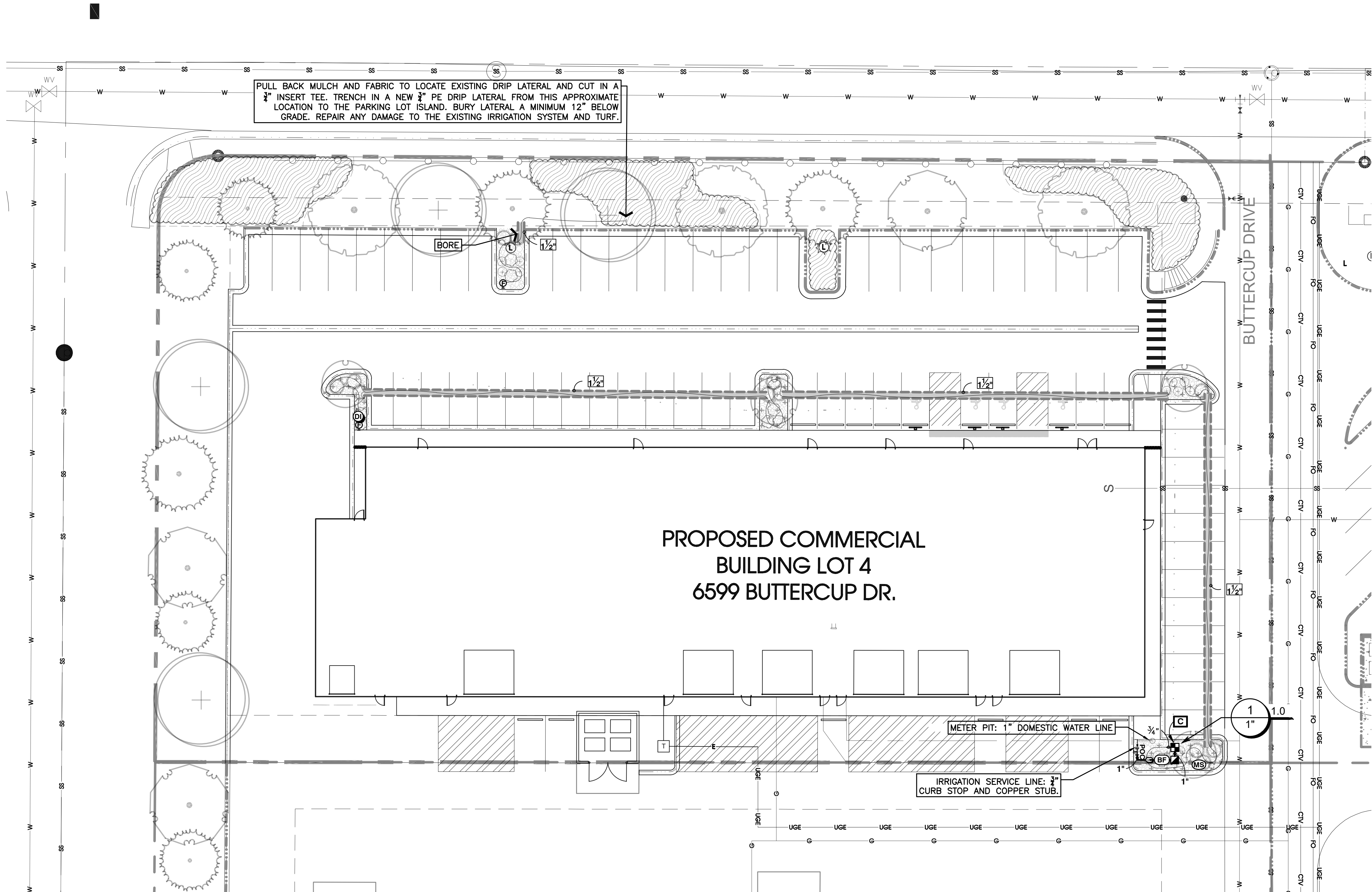
THE DOMESTIC WATER SOURCE WILL BE USED FOR IRRIGATION.

QUICK COUPLING VALVE WILL BE PROVIDED FOR INCIDENTAL WATERING, AND WILL SERVE AS A WINTERIZATION POINT FOR THE SYSTEM.

THE IRRIGATION SYSTEM WILL BE WINTERIZED AT THE END OF EACH GROWING SEASON BY EVACUATING WATER FROM THE SYSTEM WITH COMPRESSED AIR.

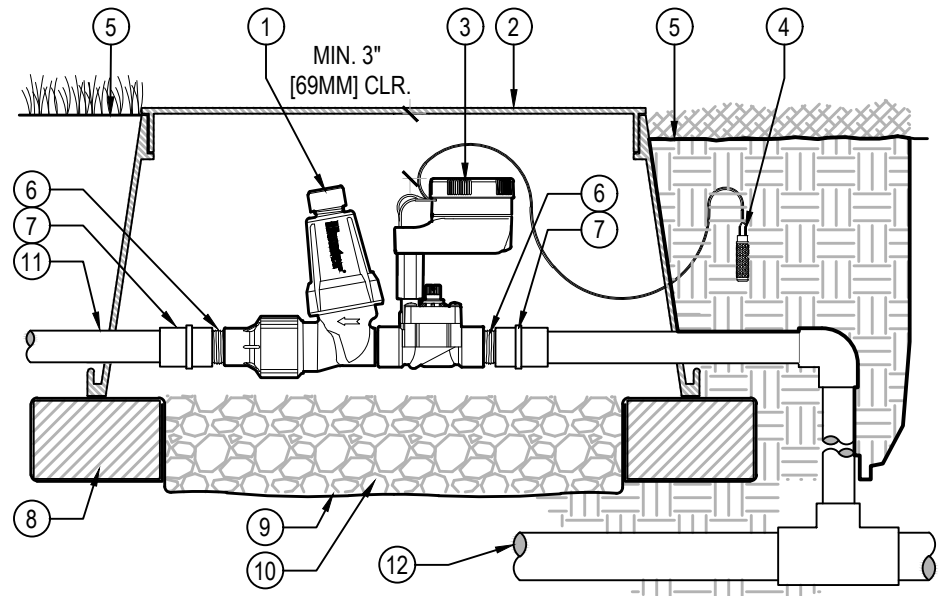
GENERAL NOTES:

1. REFER TO THE "CRITICAL ANALYSIS" ON THIS SHEET FOR THE PRESSURE AND FLOW REQUIREMENTS FOR THE IRRIGATION SYSTEM.
2. THE IRRIGATION CONTRACTOR WILL CONTACT THE UTILITY NOTIFICATION CENTER OF NORTHERN COLORADO (UNCC) AT LEAST 3 BUSINESS DAYS PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE LOCATED PRIOR TO DIGGING / EXCAVATION.
3. ALL MATERIALS TO BE AS SPECIFIED ON THIS PLAN, OR APPROVED EQUAL. IF COMPONENTS ARE UNSPECIFIED THEN USE MATERIALS THAT MEET ASTM AND/OR AWWA SPECIFICATIONS. ALL MATERIALS SHALL BE NEW, WITHOUT FLAWS OR DEFECTS, AND OF COMMERCIAL GRADE.
4. THE IRRIGATION CONTRACTOR WILL NOT INSTALL THE SPRINKLER SYSTEM WHEN IT IS OBVIOUS THAT SITE CONDITIONS EXIST THAT MAY NOT HAVE BEEN CONSIDERED IN THE IRRIGATION DESIGN, SUCH AS OBSTRUCTIONS IN THE FIELD OR DISCREPANCIES IN ANY CONSTRUCTION DOCUMENT. REPORT SUCH OBSTRUCTIONS OR DISCREPANCIES TO THE IRRIGATION SYSTEM DESIGNER.
5. THE IRRIGATION DRAWINGS ARE DIAGRAMMATIC, AND MAY SHOW SOME IRRIGATION COMPONENTS OUTSIDE OF PLANTING AREAS FOR CLARITY. THE IRRIGATION CONTRACTOR WILL AVOID ALL CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANT MATERIALS, AND ARCHITECTURAL FEATURES. ALL IRRIGATION PIPE AND WIRING WILL BE INSTALLED INSIDE LANDSCAPE AREAS WHENEVER POSSIBLE.
6. HORIZONTAL BORING AND INSTALLATION OF SLEEVING SHALL BE REQUIRED WHENEVER PIPE AND/OR WIRE MUST PASS BENEATH HARDSCAPE AREAS WHERE SLEEVING DOES NOT EXIST. (REFER TO THE SPRINKLER LEGEND SLEEVING MATERIALS.)
7. THE SYSTEM WILL BE CONTROLLER BY A BATTERY OPERATED, BLUE TOOTH CONTROLLER. AN ELECTRICAL POWER SOURCE WILL NOT BE REQUIRED.
8. THE IRRIGATION CONTRACTOR WILL BECOME FAMILIAR WITH ALL SPECIFICATIONS FOR THIS AND RELATED WORK.
9. THE IRRIGATION CONTRACTOR WILL PROVIDE THE OWNER WITH IRRIGATION RECORD DRAWINGS AFTER THE COMPLETION OF THE PROJECT.
10. MAINTENANCE - THE IRRIGATION SYSTEM SHALL BE CONSIDERED AS ELEMENTS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER SITE DETAILS. THE APPLICANT, LANDOWNER OR SUCCESSORS IN INTEREST SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE REGULAR MAINTENANCE OF THE IRRIGATION SYSTEM.

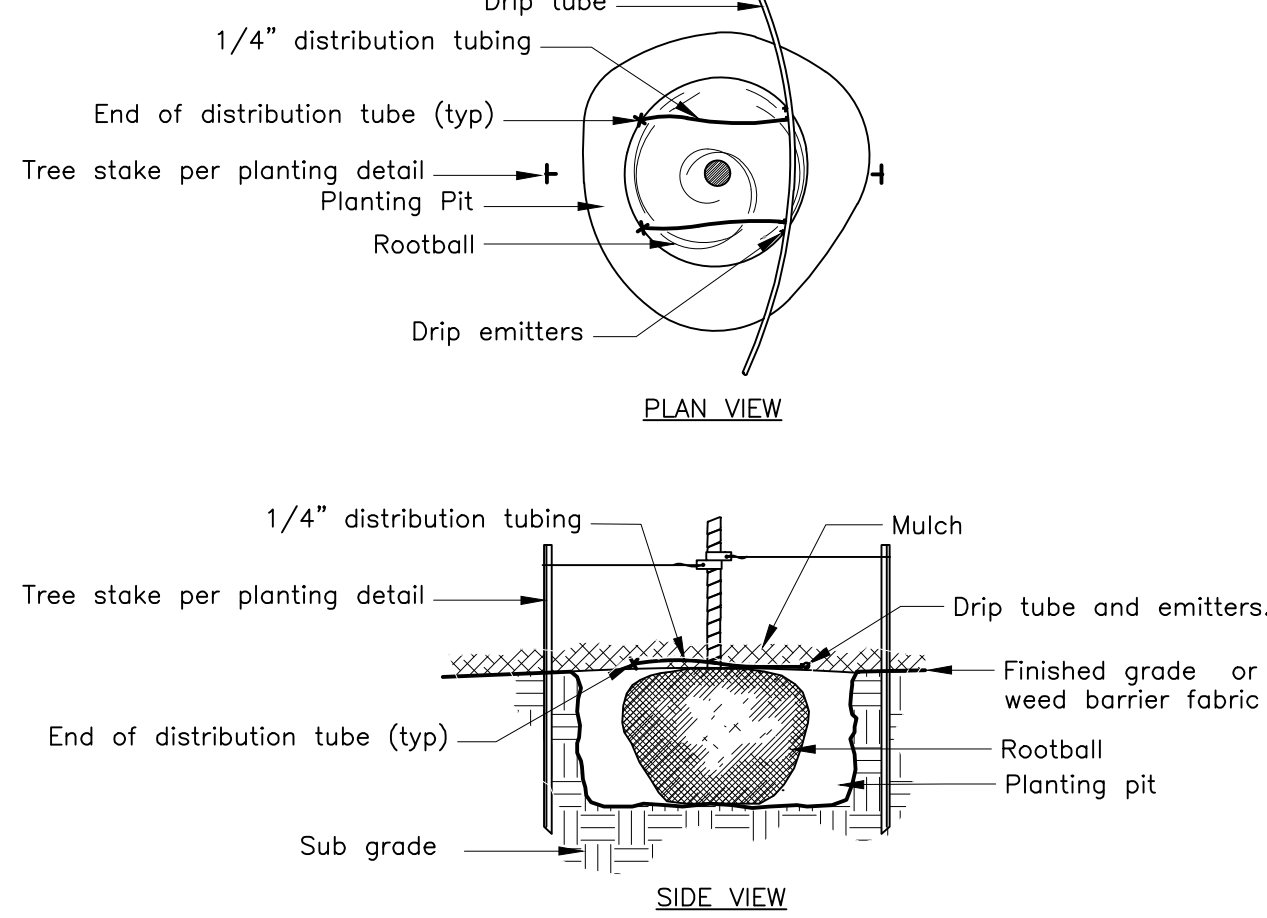


LEGEND

- 1 HUNTER REMOTE CONTROL VALVE (PC2) WITH FILTER REGULATOR
- 2 JUMBO VALVE BOX: CARSON OR EQUAL
- 3 HUNTER IRRIGATION CONTROLLER (NODE-BT-100-S) AND MOUNTING HARDWARE PER PLAN
- 4 HUNTER SOIL MOISTURE PROBE (SC-PROBE) INSTALLED AT 50% OF ROOT DEPTH
- 5 FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
- 6 SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
- 7 PVC SLIP X FPT ADAPTOR
- 8 BRICK SUPPORTS (4)
- 9 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- 10 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- 11 IRRIGATION LATERAL
- 12 MAINLINE LATERAL AND FITTINGS

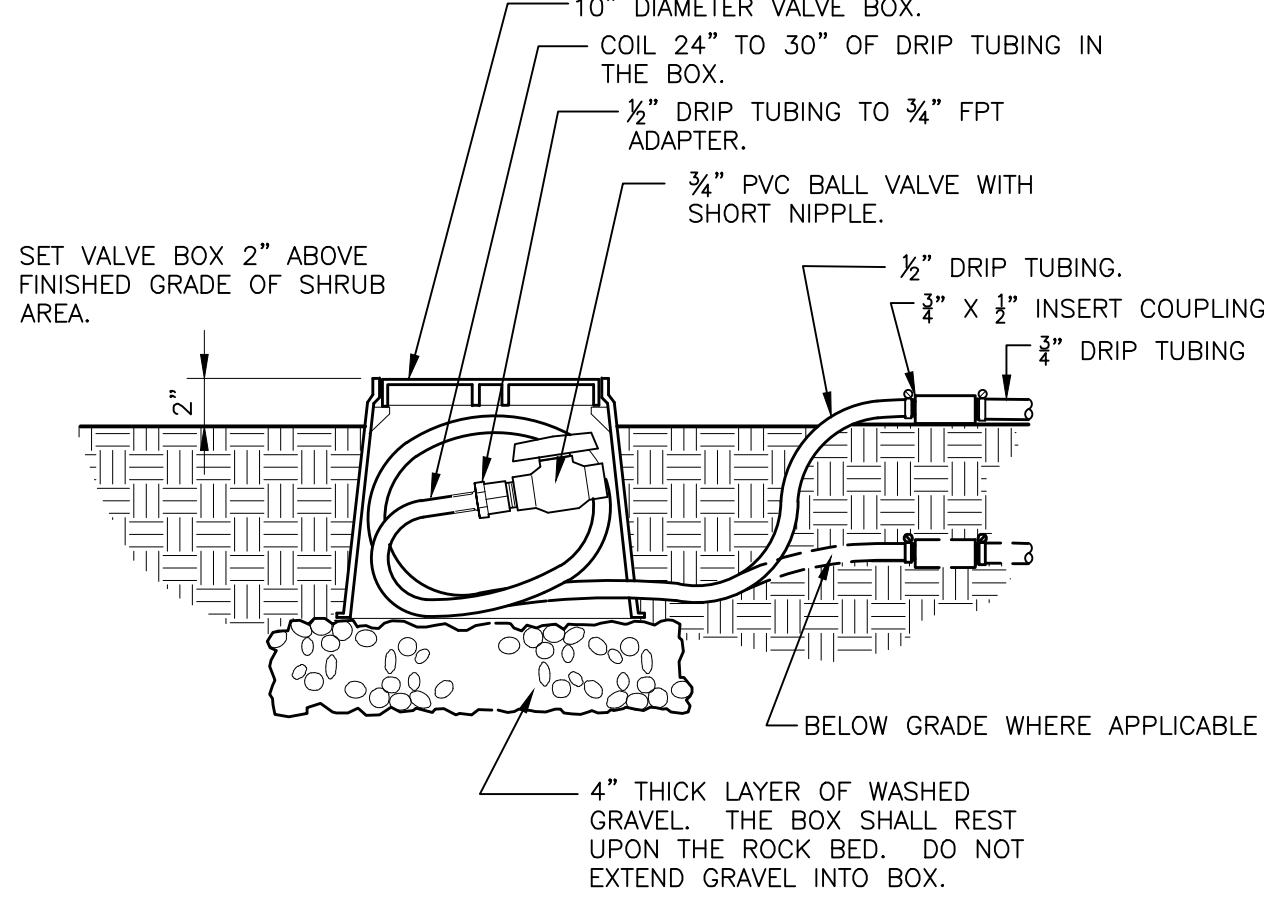


1 DRIP VALVE AND BATTERY OPERATED CONTROLLER
NTS 328413.76-36

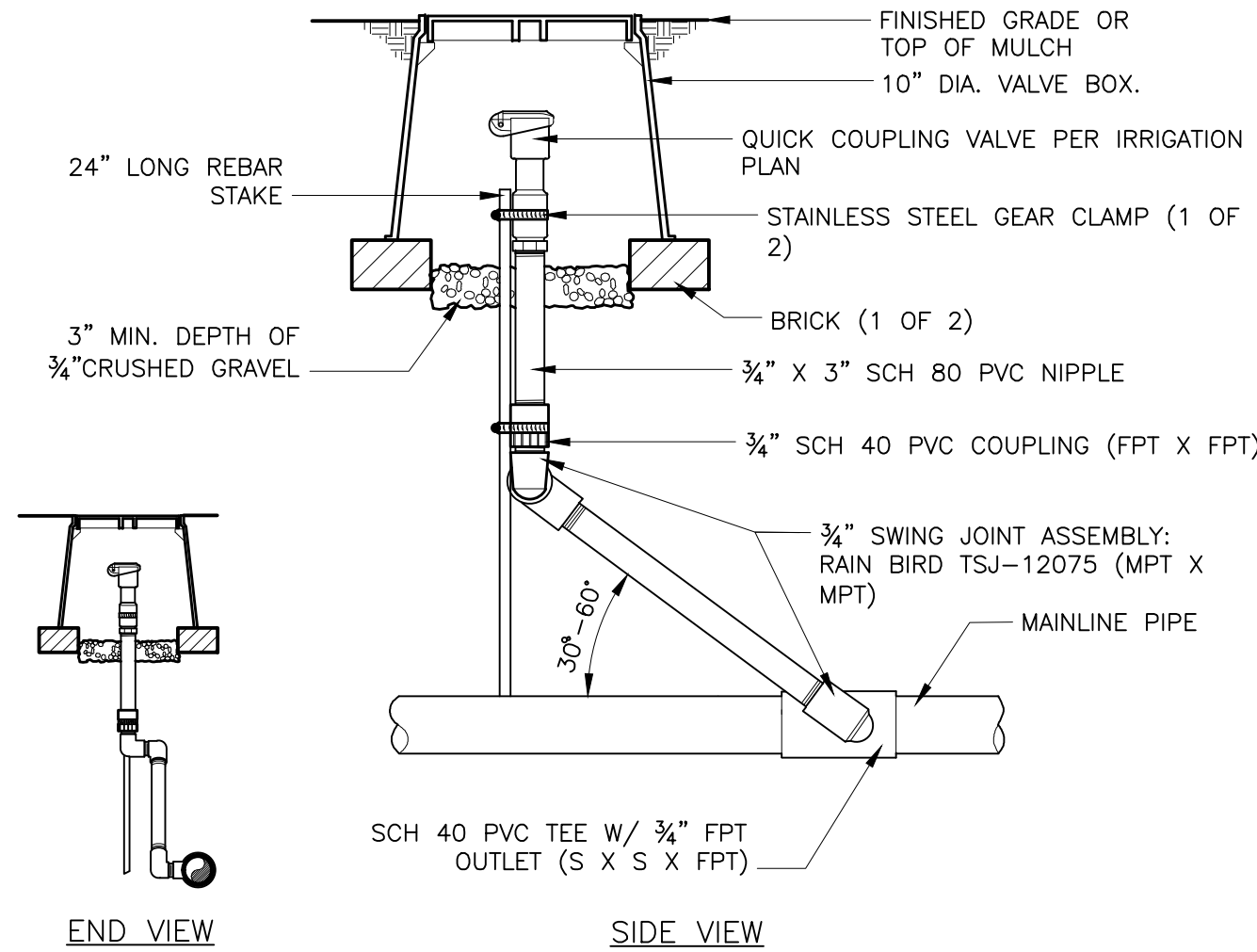


- NOTES:
1. Locate emitters on the uphill side of the root ball.
 2. 1/4" distribution tubing to be Rain Bird DT-025 or approved equal. Length as required for proper placement on root ball but not to exceed 3 L.F.

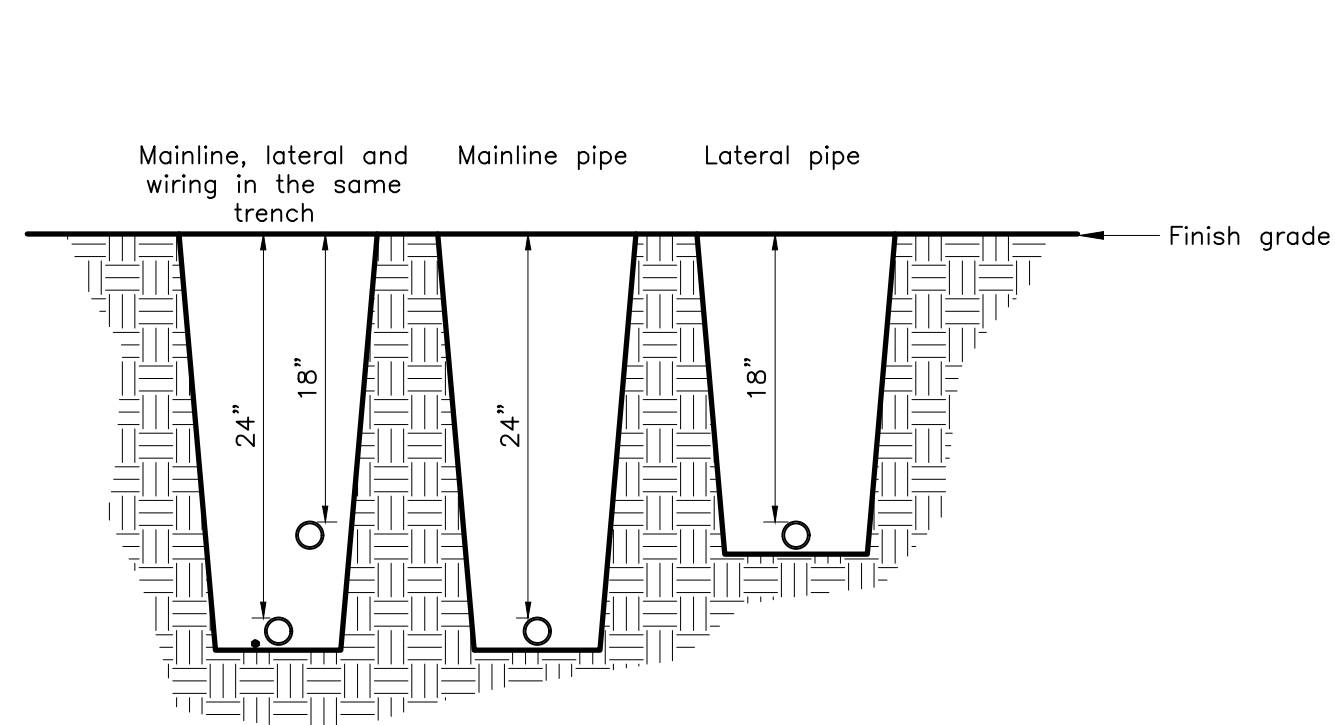
2 DRIP TUBE AND EMITTER PLACEMENT FOR SHRUB BEDS
NTS 328413.43-02



3 DRIP FLUSH VALVE
NTS 328413.49-03

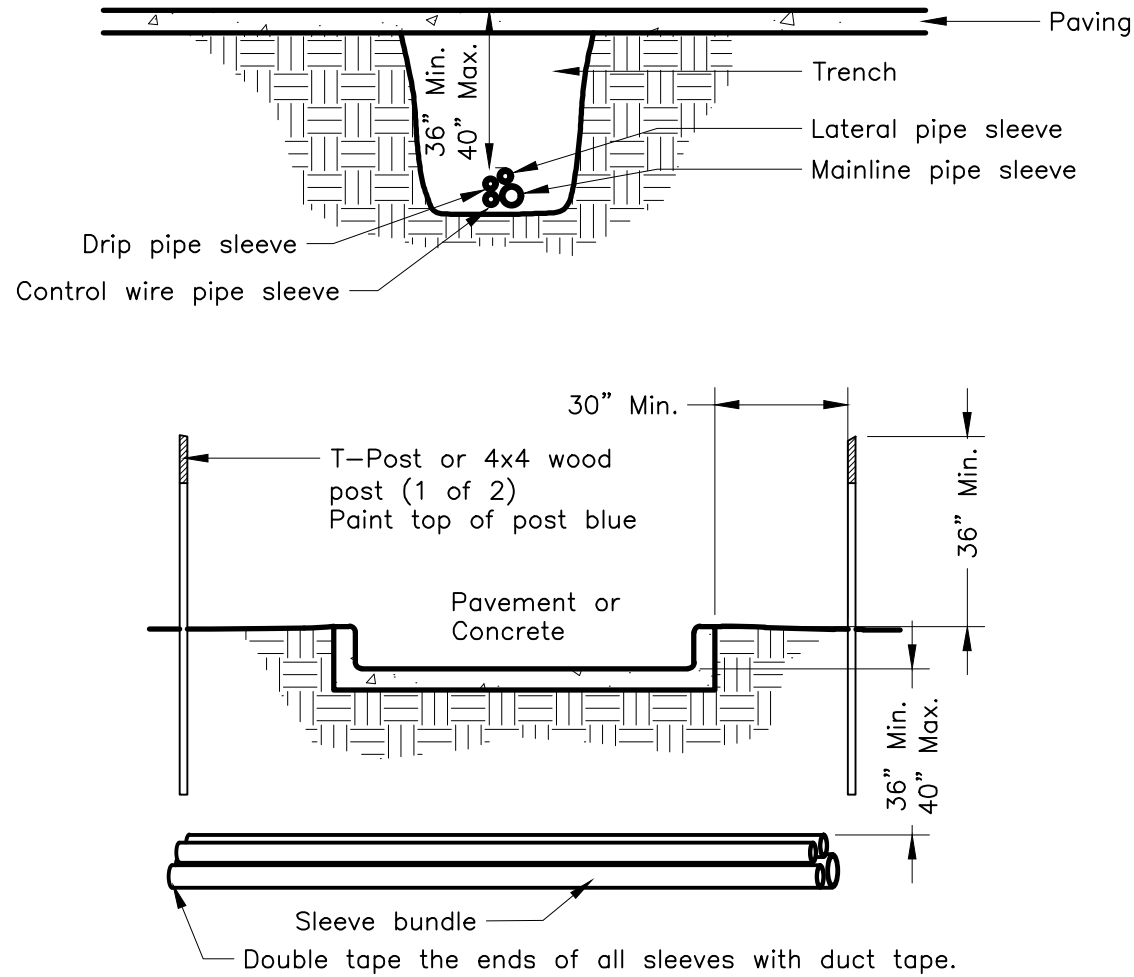


4 3/4" QUICK COUPLING VALVE ASSEMBLY
NTS 328406.43-06



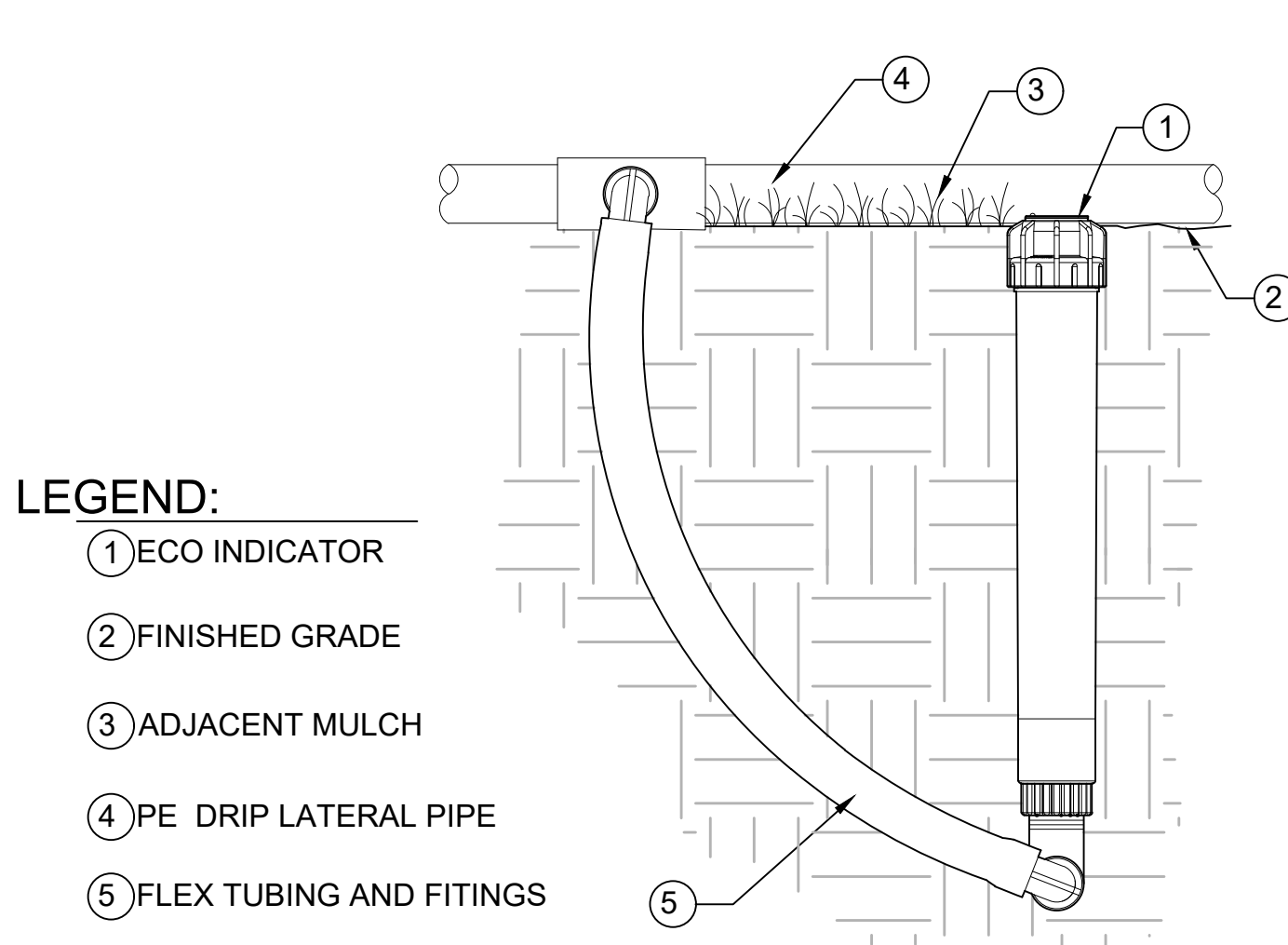
- NOTES:
1. All pipe and wire below hardscape elements to be installed in sleeves.
 2. Install pipe according to manufactures specifications.
 3. Minimum trench width to allow for proper assembly of pipe and fittings, and settling of trenches.
 4. Minimum 36" cover for all mainline pipes 6" and larger.
 5. Tape wire bundle at 20 ft. intervals and provide a loop or coil in the wire bundle at all directional fittings.

5 PIPE AND WIRE TRENCHING
NTS 328409.76-21



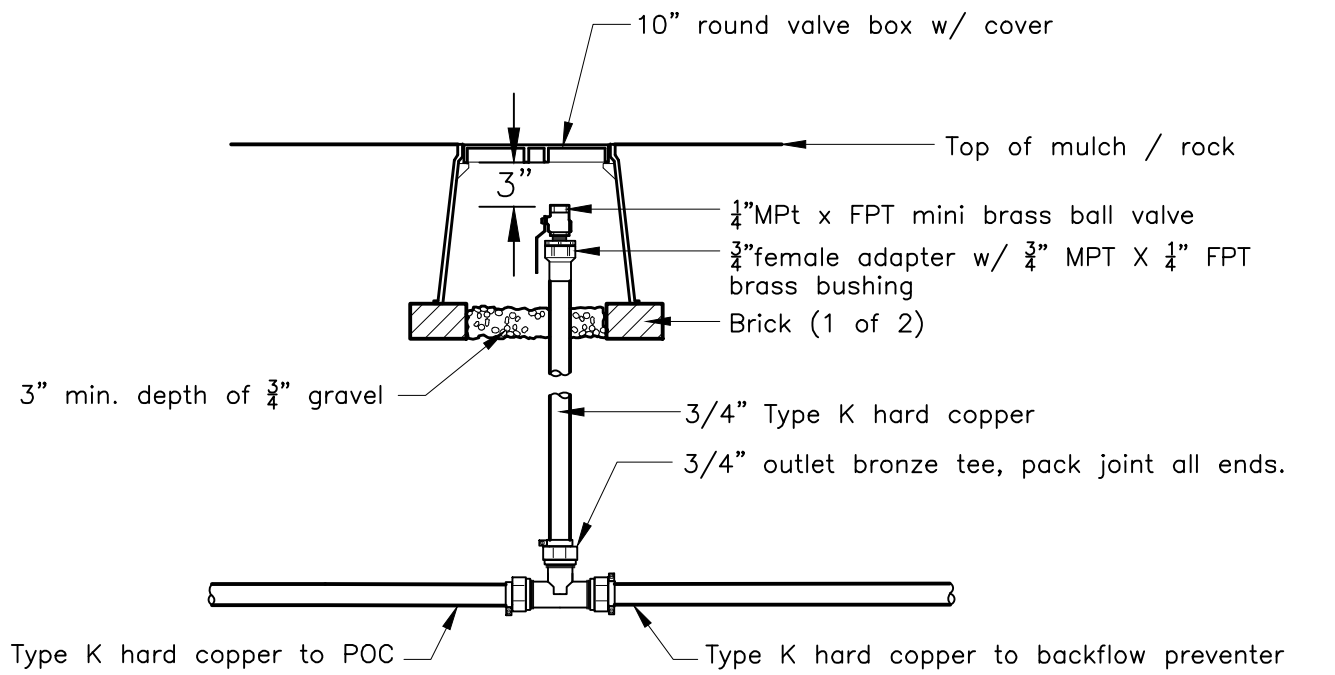
- NOTES:
1. Sleeve size to be twice the nominal pipe size passing through the sleeve.
 2. Use solvent weld pipe for whenever possible.
 3. Mechanically compact backfill to 95% proctor density.
 4. Minimum sleeve depth for frost free lines to be 40 inches.
 5. Extend sleeve a minimum of 30" beyond edge pavement or concrete

6 SLEEVING
NTS 328409.76-22

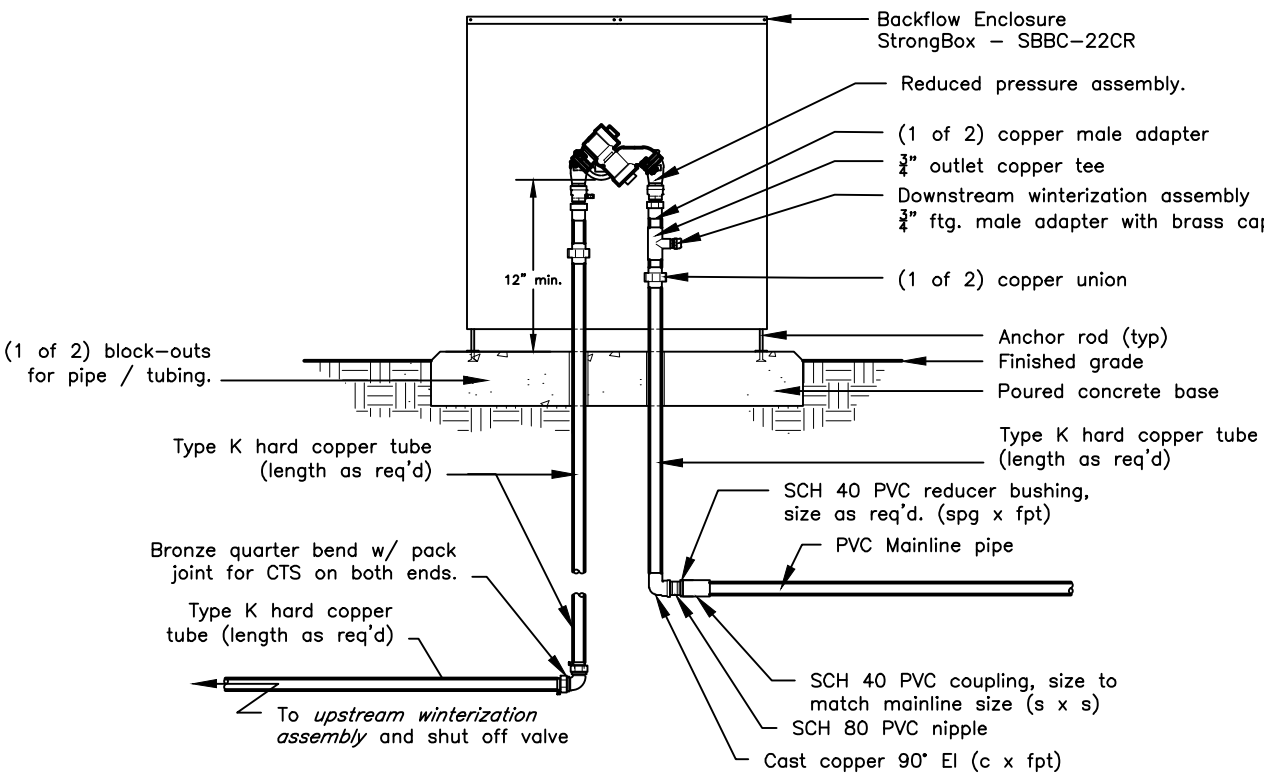


- LEGEND:
- 1 ECO INDICATOR
 - 2 FINISHED GRADE
 - 3 ADJACENT MULCH
 - 4 PE DRIP LATERAL PIPE
 - 5 FLEX TUBING AND FITTINGS

7 DRIP INDICATOR
NTS 328413.26-24



8 UPSTREAM WINTERIZATION ASSEMBLY
NTS 32 8409.73-12



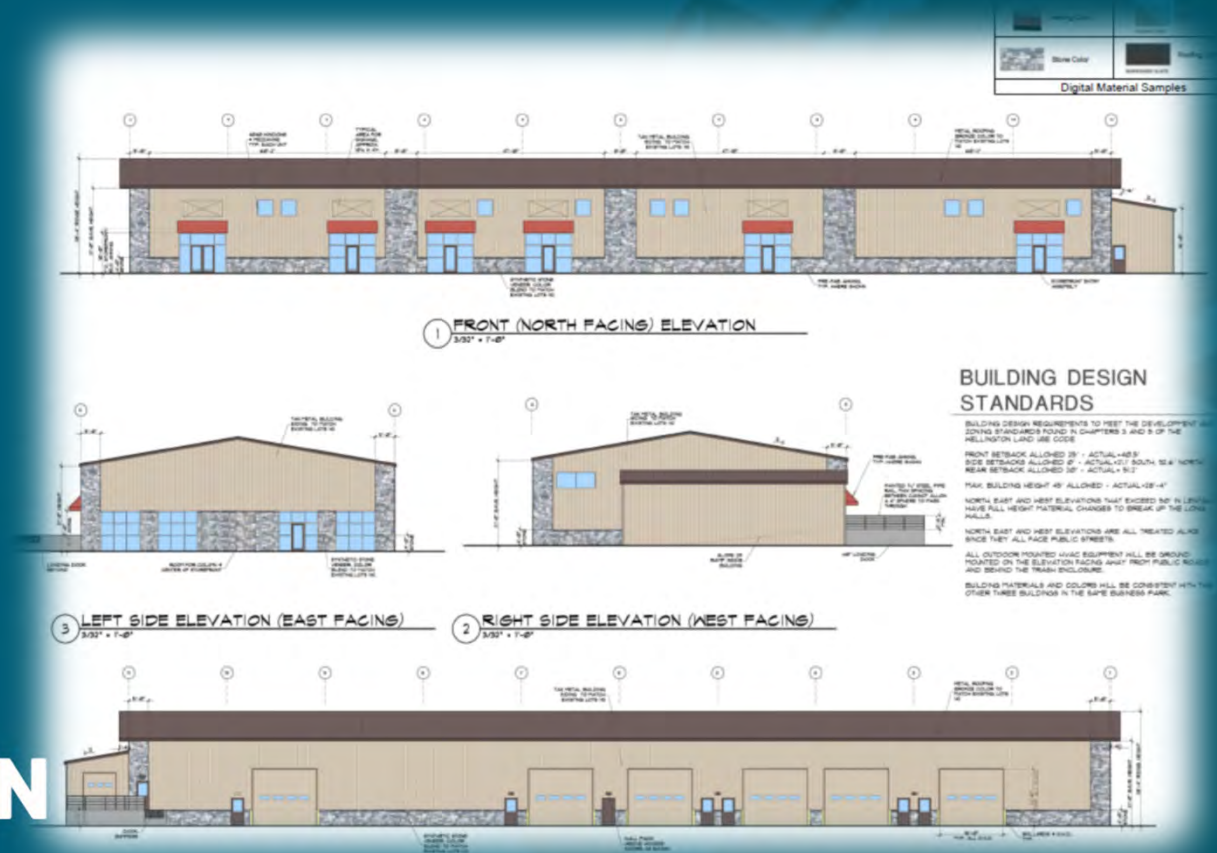
- NOTES:
1. 4" thick pour in place concrete base. Base to extend 4" beyond outside dimensions of enclosure.
 2. Block-outs to be 1" larger than pipe passing through the base.

9 BACKFLOW ASSEMBLY WITH ENCLOSURE
NTS 32 8409.46-05

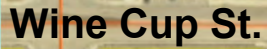
WELLINGTON BUSINESS CENTER LOT 4 SITE PLAN:

6599 Buttercup Drive
Wellington, Colorado

Applicant/Agent:
Eric Larsen w/Summit
Partners LLC



Approval for a Site Plan in the C-3 Mixed Commercial Zone District



SITE

Globeflower St.

Buttercup Drive

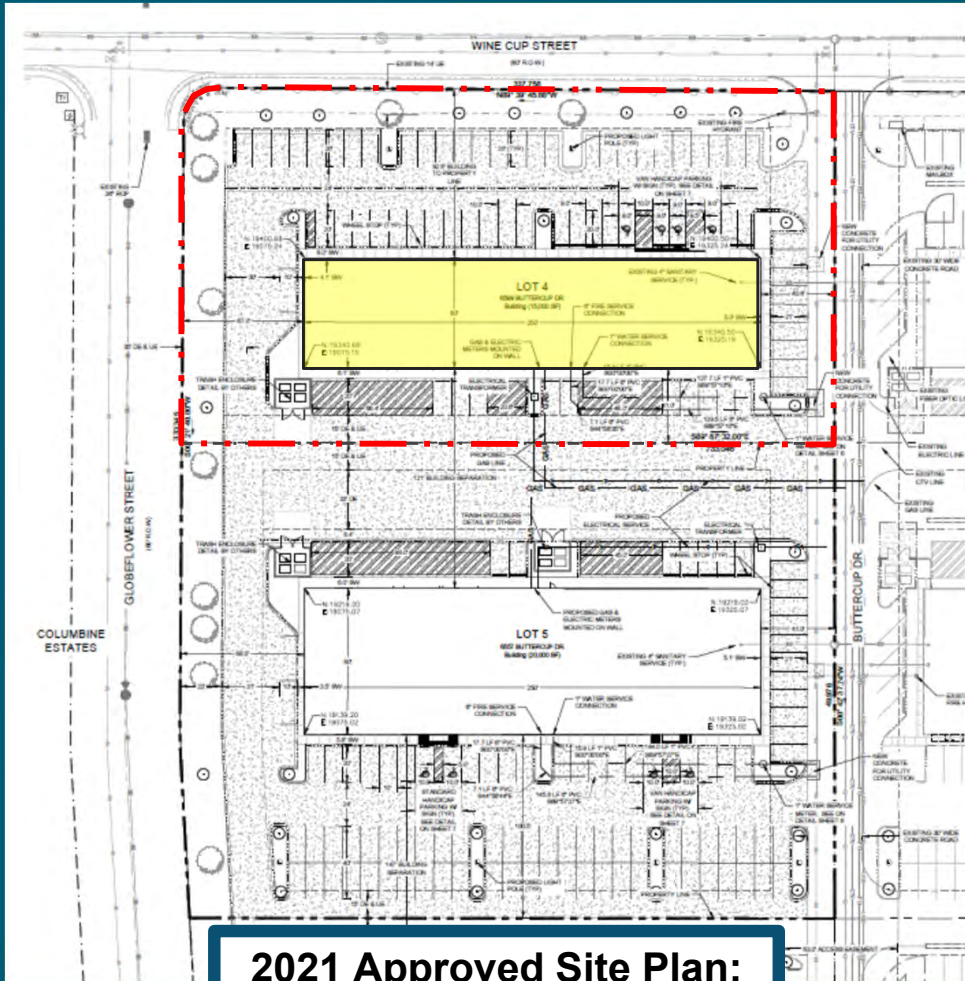
Located in the South Central Region of the Town.



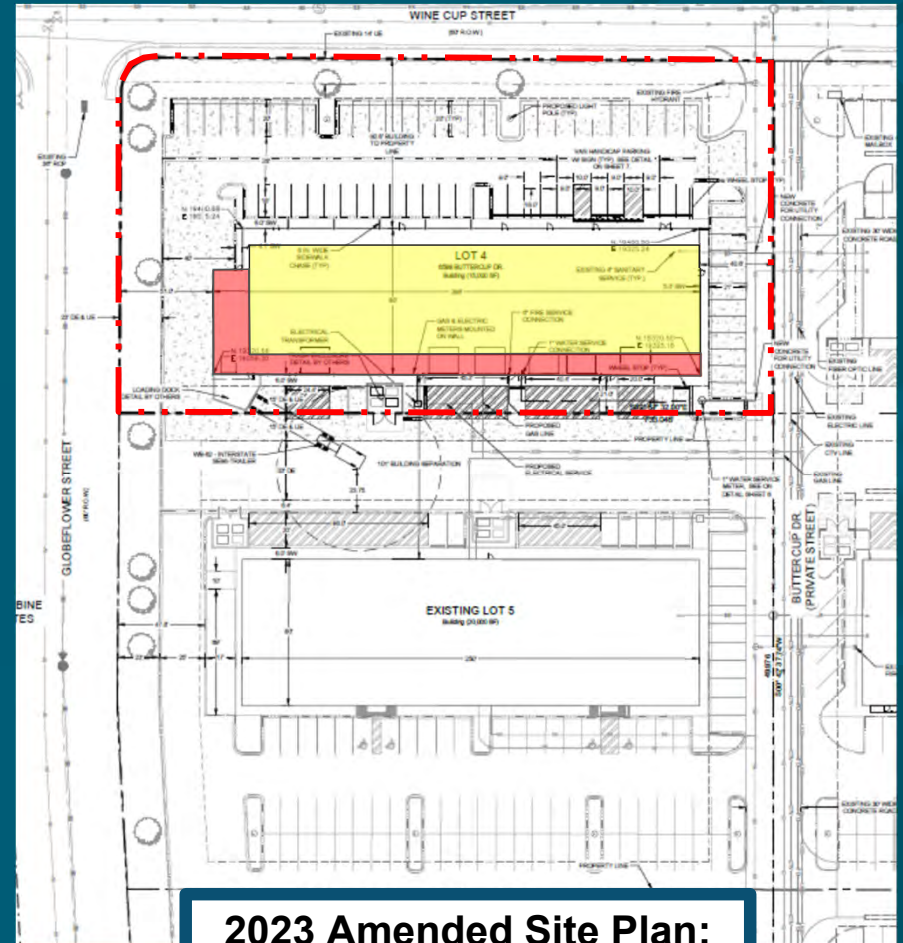
LCR 58

1-25

The Site Plans:

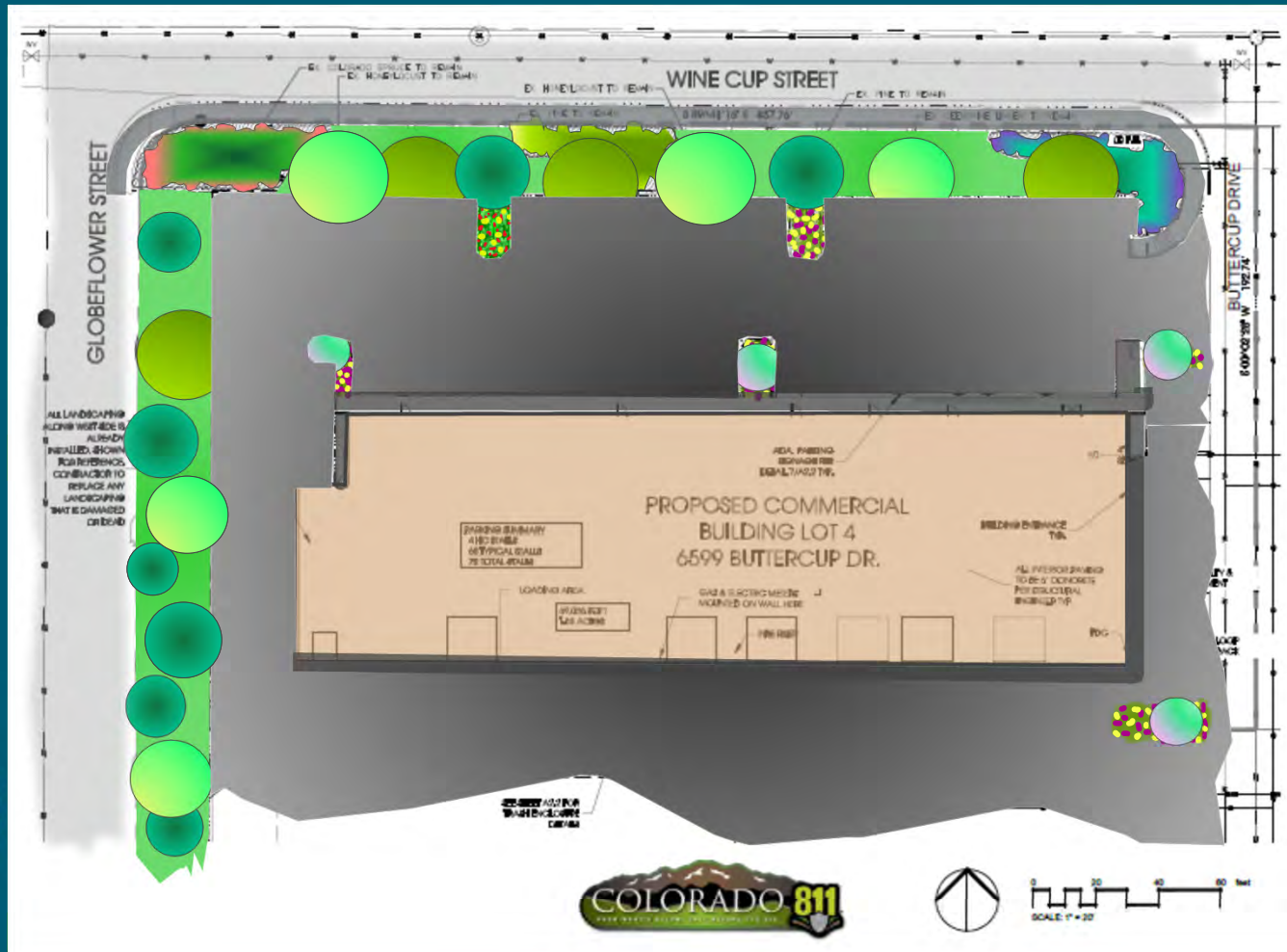


2021 Approved Site Plan:

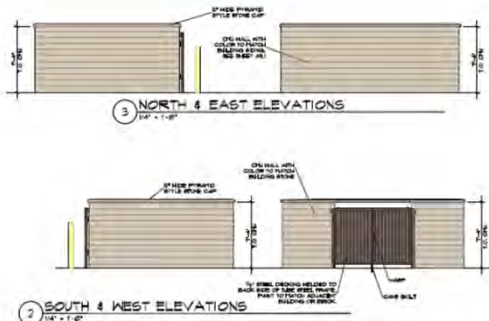
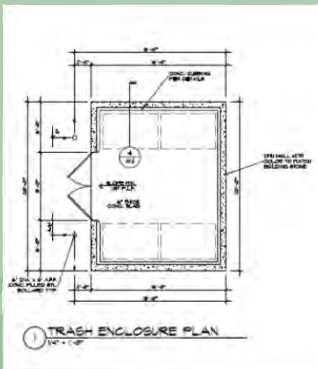


2023 Amended Site Plan:

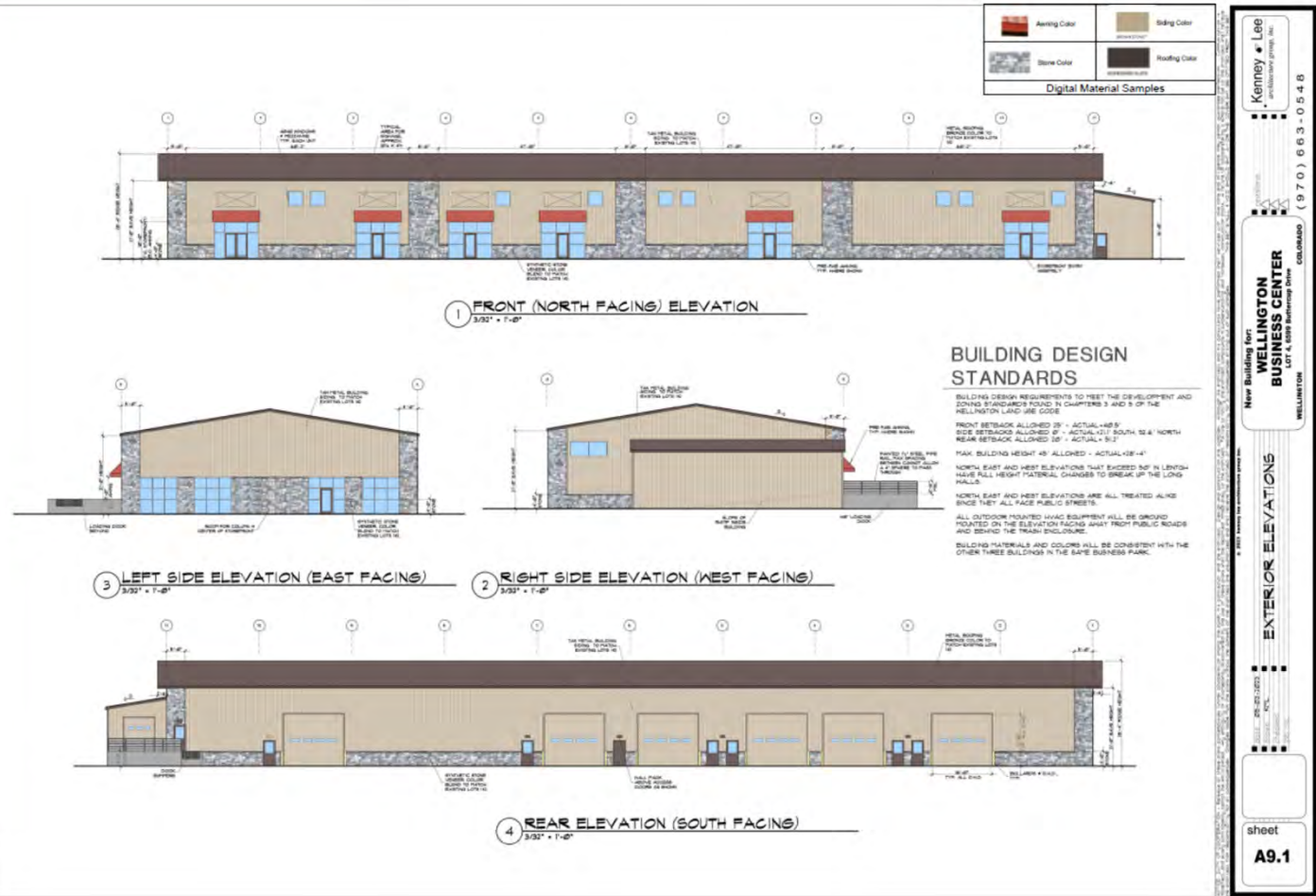
The Landscape Plan:



Architectural Character:



Trash Enclosure:



Building Elevations:

Photometric Plan:

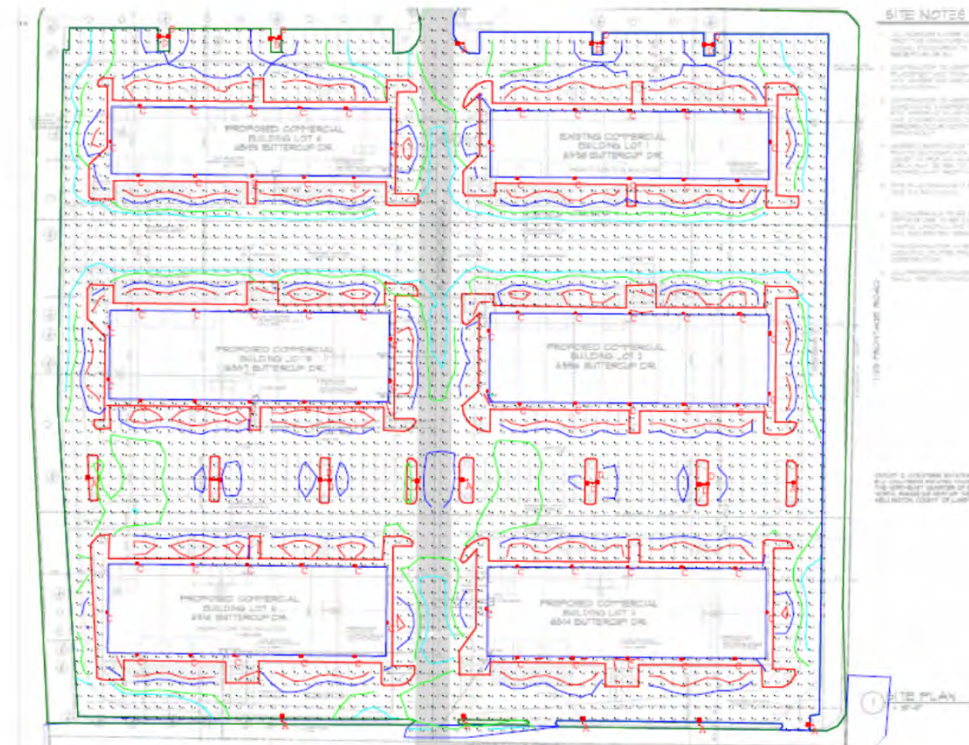
CALCULATION SUMMARY



**LIGHTING &
CONTROLS**

ISO Lines Legend

5fc ———
3fc ———
1fc ———
0.5fc ———



Wellington Business Center:

PHASE II - LOTS 1-6
2/21/2020

PM-1 2



PROJECT APPROVAL CRITERIA:

2.12.3 Planning Commission Findings for Approval.

- A. The site plan is consistent with the Comprehensive Plan and the intent stated in this Land Use Code.**
- B. The lot size and lot dimensions are consistent with what is shown on the approved final plat.**
- C. No buildings or structures infringe on any easements.**
- D. The proposed site grading is consistent with the requirements of any applicable adopted storm drainage criteria or master drainage plans.**
- E. The density and dimensions shown conform with Article 4 of this Code or the approved PUD requirements.**
- F. The applicable Development Standards have been adequately addressed and the proposed improvements conform with Article 5 of this Code.**



THE END:

Thank You!

Q & A: